

PURPOSE STATEMENT

THE PURPOSE OF THIS SP IS TO REZONE BELLE MEADE PLAZA'S 10.53 ACRES FROM MUL TO SP TO ALLOW FOR A MIXED-USE DEVELOPMENT.

PROPOSED ZONING BULK REQUIREMENTS

FAR - 2.00 MAX (PARKING EXCLUDED)
MAXIMUM HEIGHT- PER DRAWINGS
SETBACKS - PER DRAWINGS
FALLBACK ZONING - MUL

SITE AREA -

458,856 SF - 10.53 ACRES

COUNCIL DISTRICT #: 24

COUNCIL MEMBER: KATHLEEN MURPHY



DESIGN PROFESSIONALS:

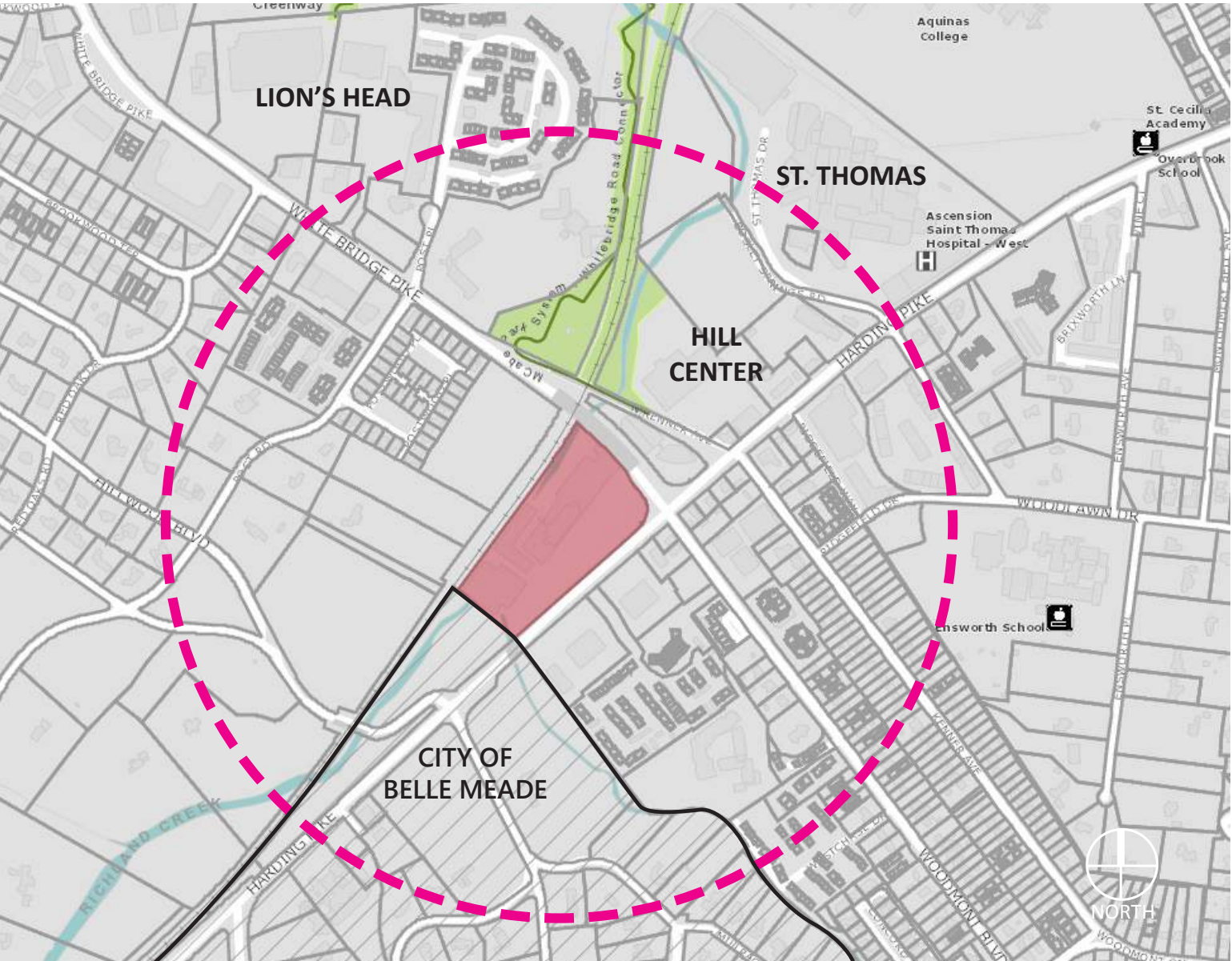
BARGE CAUTHEN & ASSOCIATES (615-356-9911)
6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TN 37209

HAWKINS PARTNERS (615-255-5218)
110 S 10TH ST. NASHVILLE, TN 37206

HASTINGS ARCHITECTURE (615-329-1399)
225 POLK AVE. NASHVILLE, TN 37203

HARTSHORNE PLUNKARD ARCHITECTURE (312-226-4488)
315 W. WALTON CHICAGO, IL 60610





SITE **1/4 Mile Walking Radius**

Source: Metro Nashville-Davidson County Mapping



Source: Google Streetviews

WHITE BRIDGE PIKE

EXISTING			
Lanes	5	Sidewalks	Both Sides
On-Street Parking	No	Bicycle Facilities	No
MAJOR COLLECTOR STREET PLAN (MCSP)		T5-M-AB5-IM (ARTERIAL BOULEVARD)	
Right-of-Way	100 ft	Planting Strip (Both Sides)	4 ft
Median	0 ft	Sidewalk (Both Sides)	10 ft
Bikeway	0 ft		
Frontage	4 ft		



Source: Google Streetviews

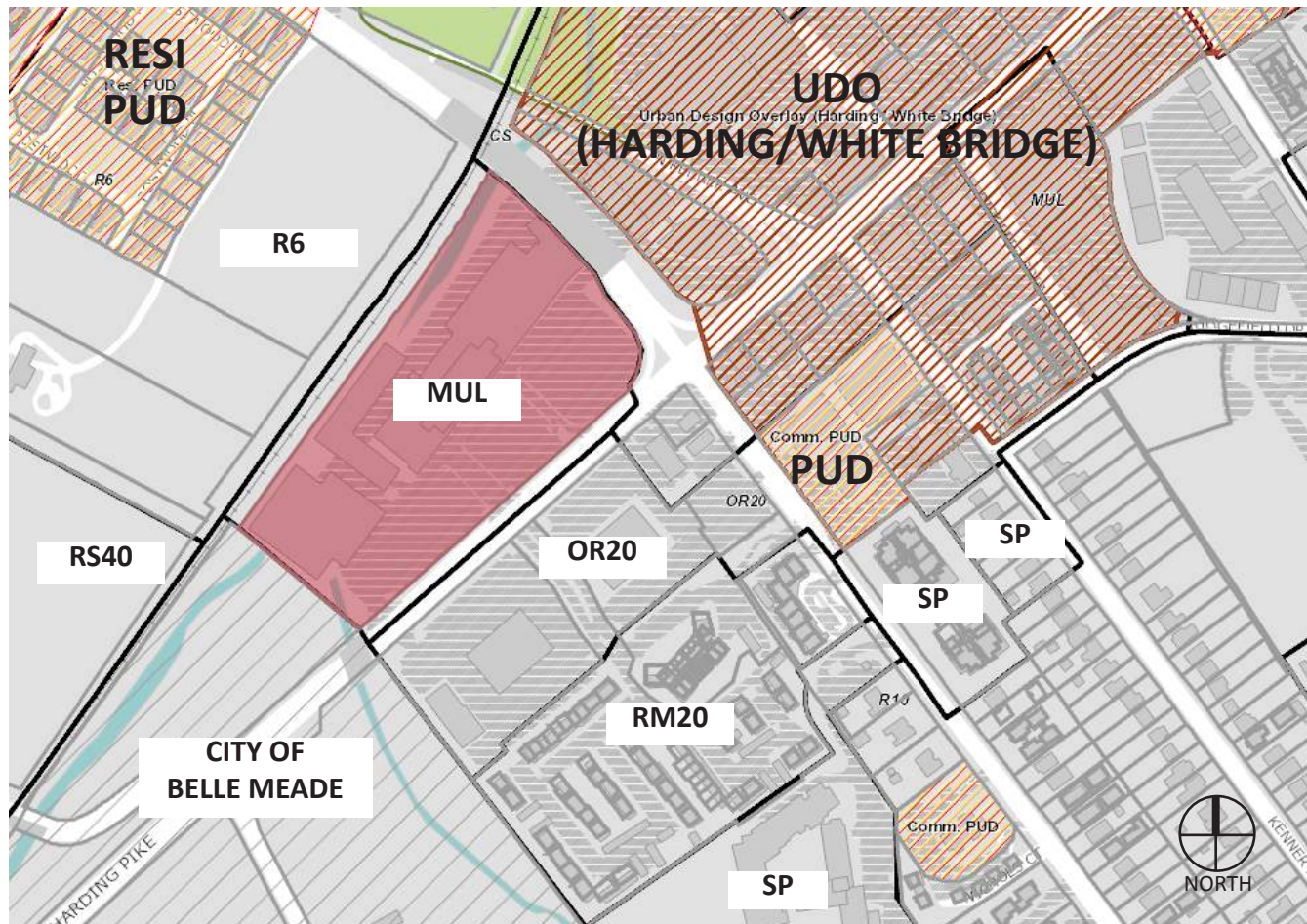
HARDING PIKE

EXISTING			
Lanes	6 (Central turning lane)	Sidewalks	Both Sides
On-Street Parking	No	Bicycle Facilities	No
MAJOR COLLECTOR STREET PLAN (MCSP)		T5-M-AB6 (ARTERIAL BOULEVARD)	
Right-of-Way	117 ft	Planting Strip (Both Sides)	4 ft
Median	0 ft	Sidewalk (Both Sides)	8 ft
Bikeway	5 ft		
Frontage	0 ft		



SITE CONTEXT

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



Source: Metro Nashville-Davidson County Mapping

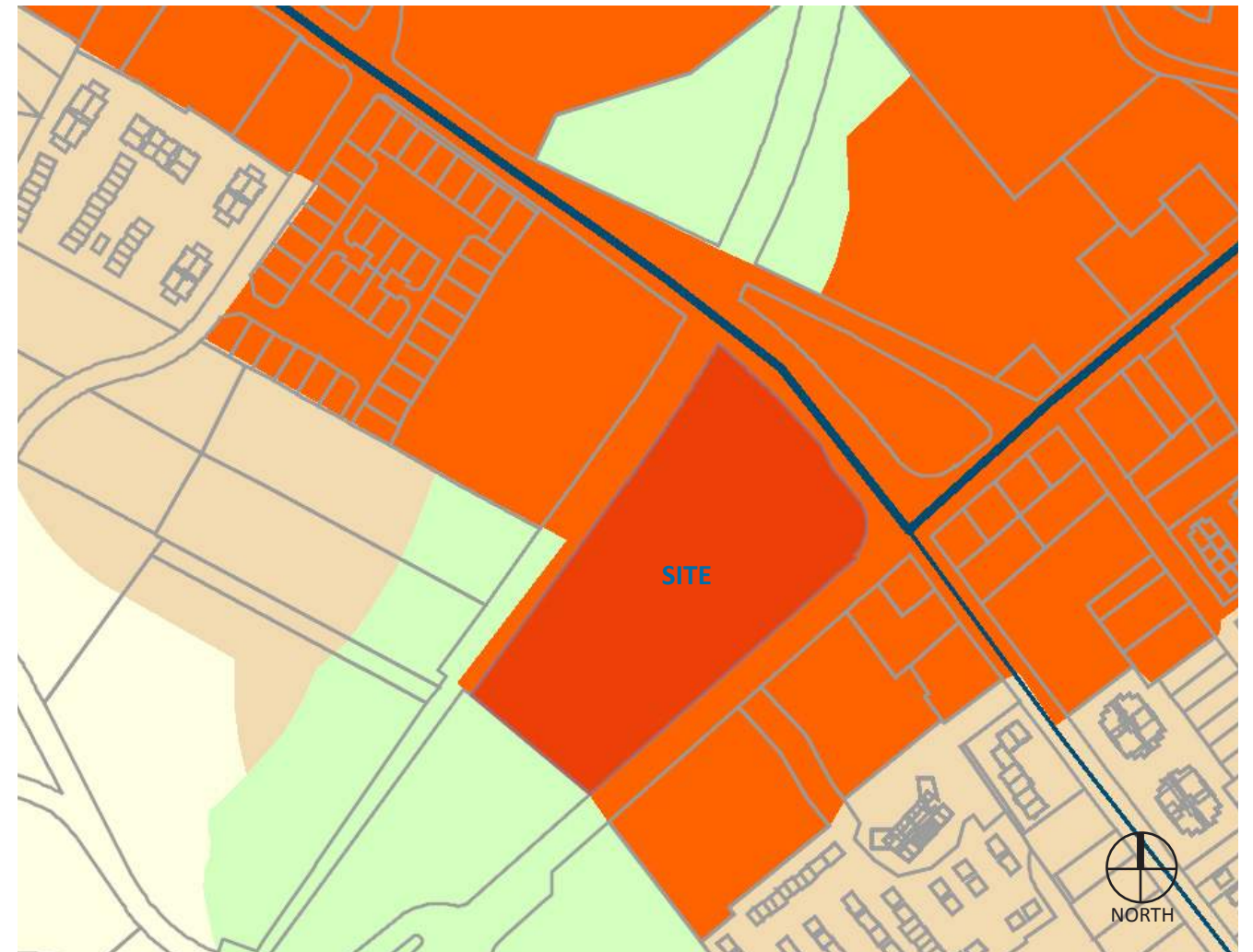
OVERLAYS

According to Metro Maps, there are currently no easements or overlays on this site. A number of parcels in the vicinity are considered either National Register Eligible or Worthy of Conservation, but this site falls into neither of those categories.

ZONING:

The parcel is zoned MUL (Mixed Use Limited). MUL is defined in the Metro Zoning Code Section 17.08.020:

- MUL, Mixed-Use Limited District, MUL-NS, Mixed Use Limited District No STRP, MUL-A, Mixed-Use Limited District Alternative, and MUL-A-NS, Mixed-Use Limited District Alternative No STRP. The MUL and MUL-A districts are intended to implement the moderate intensity mixed-use policies of the general plan. These districts also may be used in areas policed for concentrations of mixed commercial uses and for existing areas of commercial arterial development that are located in the vicinity of major intersections. The bulk standards permitted by this district, along with the range of allowable uses, are designed to promote the preservation and adaptive reuse of larger structures that contribute to the historical or architectural character of an area. These districts should be applied to areas that have good access to collector or arterial streets and public transportation service. MUL-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. MUL-NS, and MUL-A-NS are designed to allow the same standards and uses of the MUL and MUL-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.*



Source: Metro Nashville-Davidson County Mapping

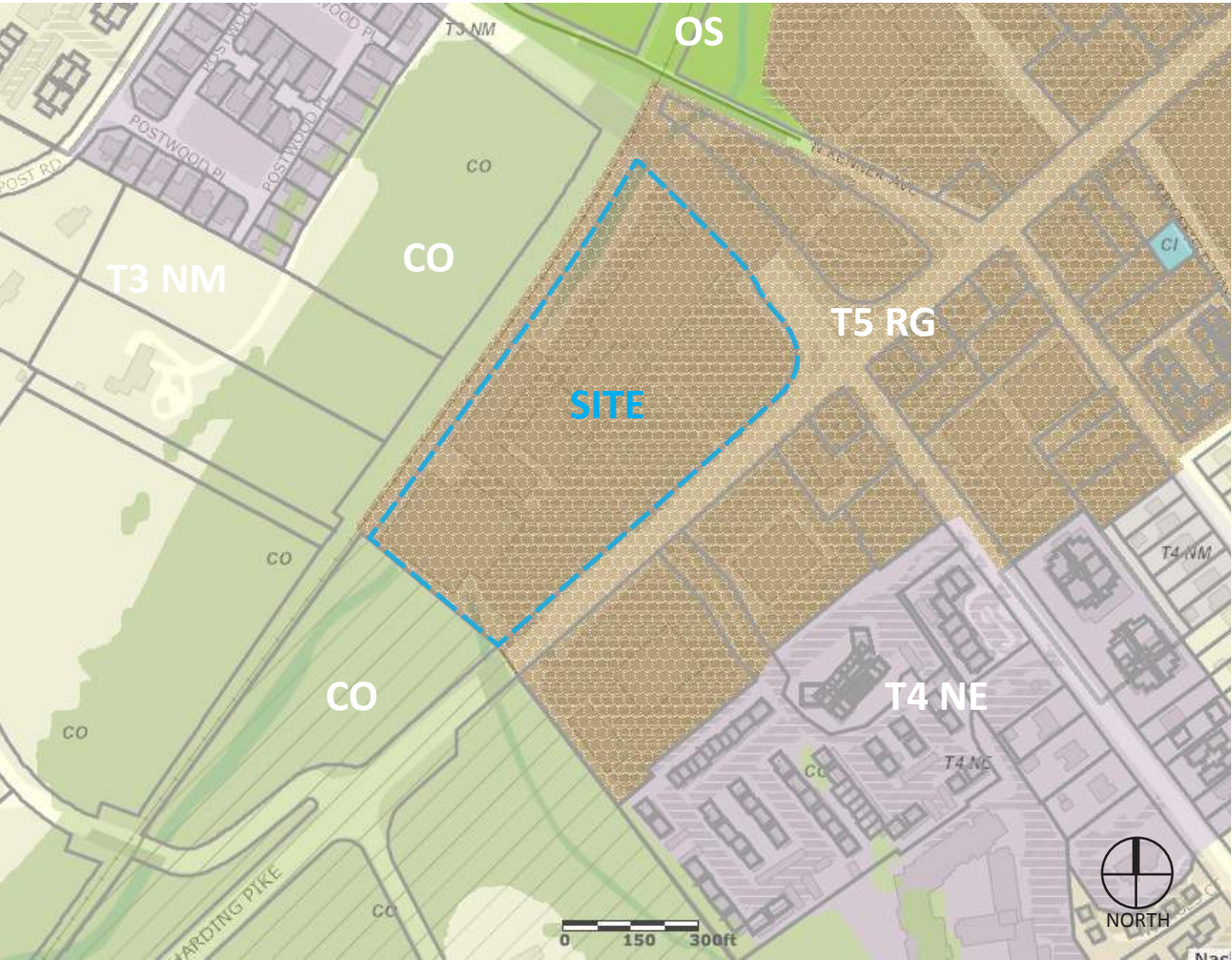


According to the Nashville Next Concept Map, this site is located within the **Tier 1 development zone along White Bridge Pike**, which is identified as a priority corridor with immediate need. Harding Pike to the west of White Bridge Pike is not identified as a priority corridor.



LAND USE REGULATIONS & NASHVILLE NEXT MAP

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



Source: Metro Nashville-Davidson County Mapping

This site falls within a **T5 RG (Regional Community Center)** designation. The intent of T5RG is to “Enhance or create regional centers, encouraging their development as intense mixed use areas that serve the region with supporting land uses that create opportunities to live, work, and recreate.” According to the Community Character Manual, the following uses are listed as appropriate in **T5 RG**

PERMITTED LAND USES (T5 RG)	
Mixed Use	Residential
Commercial	Institutional
Office	

PERMITTED BUILDING TYPES (T5 RG)	
Low-Rise Townhouse	Low-Rise Mixed Use
Mid-Rise Townhouse	Mid-Rise Mixed Use
Courtyard Flat	High-Rise
Low-Rise Flat	Stepped High-Rise

Source: Metro Nashville Community Character Manual

PERMITTED BUILDING TYPES (T5 RG)	
Low-Rise Townhouse	Low-Rise Mixed Use
Mid-Rise Townhouse	Mid-Rise Mixed Use
Courtyard Flat	High-Rise
Low-Rise Flat	Stepped High-Rise

Source: Metro Nashville Community Character Manual

POLICY	ZONING PERMITTED	BULK REGULATIONS				
		Max. FAR	Max. ISR	Max. Height in Build-to Zone	Min. Stepback or Slope of HCP	Max. Height
T5-RG (Regional Center)	RM20-A	0.80	0.70	30'	15'	45'
	RM40-A	1.00	0.75	45'	15'	60'
	RM60-A	None	0.80	65'	15'	90'
	OR20-A	0.80	0.70	30'	15'	45'
	OR40-A	1.00	0.75	45'	15'	60'
	ORI-A	3.00	0.90	65'	15'	150'
	MUI-A	5.00	1.00	7 stories (105')	15'	15 Stories (150')
	MUG-A	3.00	0.90	5 stories (75')	15'	7 stories (105')

POTENTIAL FALLBACK ZONING:

Above is a list of permitted zoning designations within the existing **T5RG** policy and their associated bulk regulations. Below are descriptions of both MUI-A and ORI-A zonings for reference:

MUI, Mixed-Use Intensive District, Mixed-Use Intensive District No STRP, MUI-A, Mixed-Use Intensive District Alternative, Mixed-Use Intensive District Alternative No STRP. The MUI and MUI-A districts permit a mixture of high intensity residential, office and compatible commercial uses in areas characterized by the highest levels of accessibility, mass transit opportunities and essential support services. The bulk standards for this district permit large scale buildings, and include incentives to locate off-street parking within structures. It is intended that this district be applied to areas near downtown in a manner consistent with the general plan and other adopted redevelopment plans, to selected segments of major traffic arteries extending from the downtown core area, or for selected portions of activity centers designated by the general plan. MUI-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. MUI-NS, and MUI-A-NS are designed to allow the same standards and uses of the MUI and MUI-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.

**NOTE: Straight MUI zoning (vs. MUI-A) only has a max. height at the setback line of 7 stories (105’) and then a 1.5 to 1 Slope of Height Control Plane, whereas MUI-A does have a max. overall height of 15 Stories (150’).*

ORI, Office/Residential Intensive District, ORI-NS, Office/Residential Intensive District No STRP, ORI-A, Office Residential Intensive District Alternative, ORI-A-NS, Office/Residential Intensive District Alternative No STRP. The ORI district is designed to provide adequate and suitable space in appropriate locations for high intensity office uses mutually compatible with high-density residential uses. A selective list of retail trade, business service and personal care service uses are permitted if the principal purpose is to serve the recurring needs of the occupants or employees of other permitted uses in these districts. These districts are appropriately located between districts characterized by less intense residential and office development and areas of more intensive commercial uses, or they are extensions along major traffic arteries from areas used for more intensive commercial purposes. ORI-A is designed to create walkable neighborhoods through the use of appropriate building placement and bulk standards and is an alternative to a zoning district that requires a site plan. ORI-NS and ORI-A-NS are designed to allow the same standards and uses of the ORI and ORI-A districts with the exception of prohibiting Short term rental property—Owner occupied and Short term rental property—Not owner occupied uses from the districts.

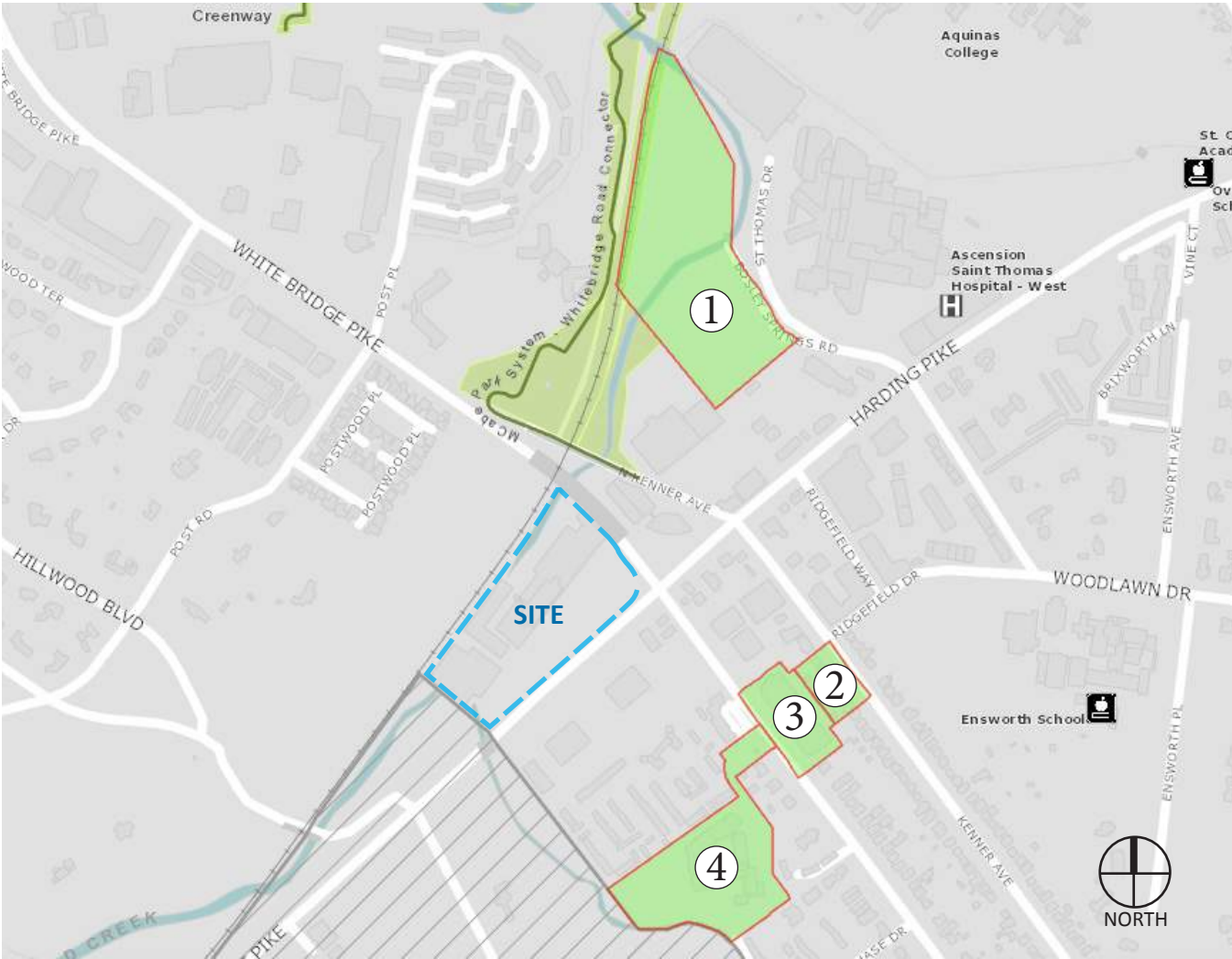


COMMUNITY CHARACTER POLICY



Above is a map of buildings 7 stories and taller within 1 mile of the site

	NAME	MAX. HEIGHT
1	VILLA MARIA	7 STORIES
2	ST. THOMAS HOSPITAL	5-10 STORIES
3	WINDSOR TOWER	13 STORIES
4	WELLINGTON ARMS	7 STORIES
5	INGRAM	10 STORIES
6	WOODMONT CENTRE	9 STORIES
7	ROYAL OAKS TOWER	8 STORIES
8	PARK MANOR	7 STORIES



Source: Metro Nashville-Davidson County Mapping

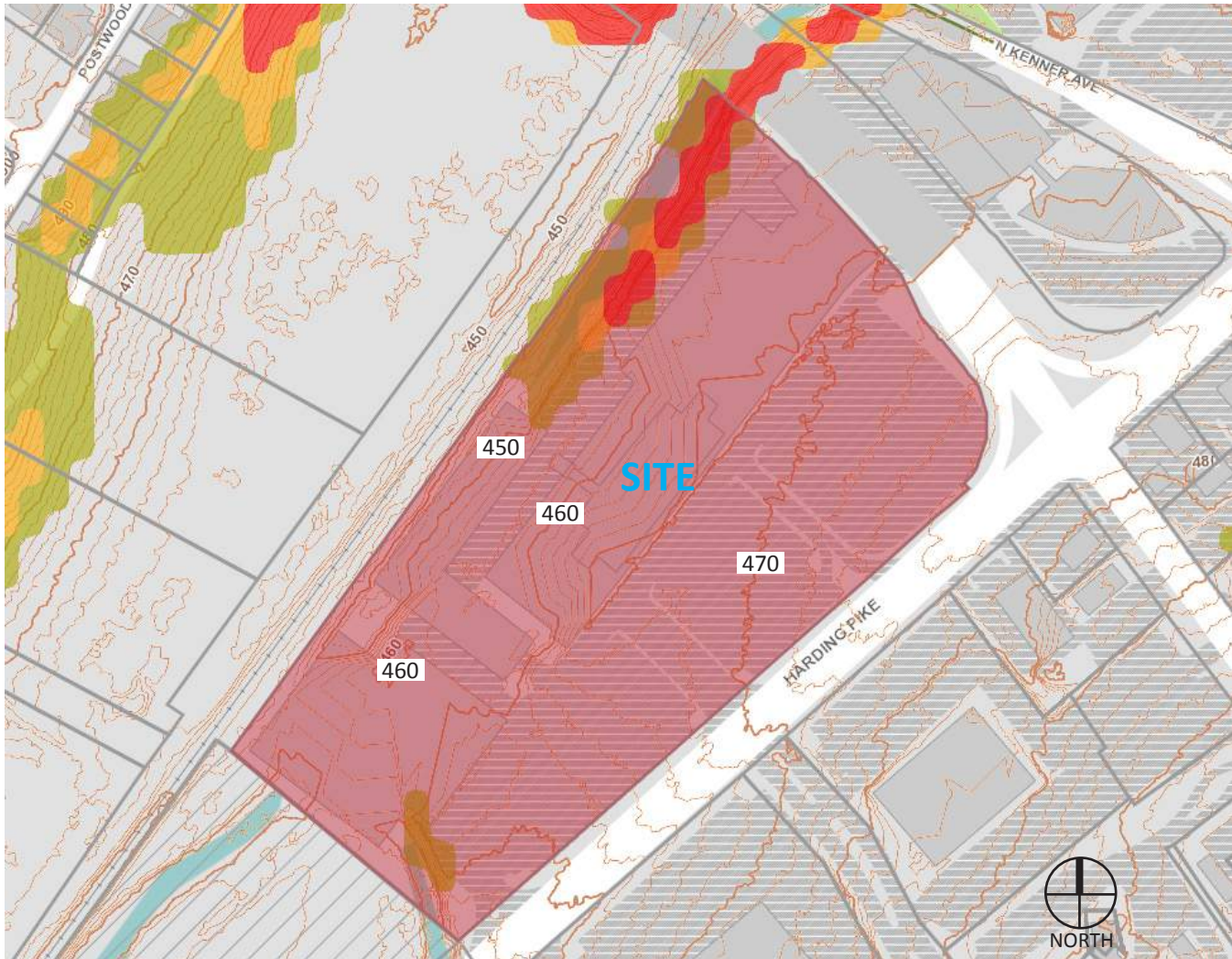
According to Metro Maps, there are several existing Specific Plans (SPs) in the area.

	NAME	YEAR	FAR	MAX. HEIGHT	FALLBACK ZONING
1	ST. THOMAS HOSPITAL	2017	1.5	3 story stepback w/ 1.5:1 HCP	OG
2	WOODMONT CONDOS	2007	N/A	65' stepback with 1.5:1 HCP	RM60
3	THE MANNING AT BELLE MEADE	2015	N/A	7 stories	RM20
4	ABE'S GARDEN AT PARK MANOR	2009	1.3	150'	RM20



LOCAL HEIGHT PRECEDENTS & SPECIFIC PLAN MAP

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



TOPOGRAPHY

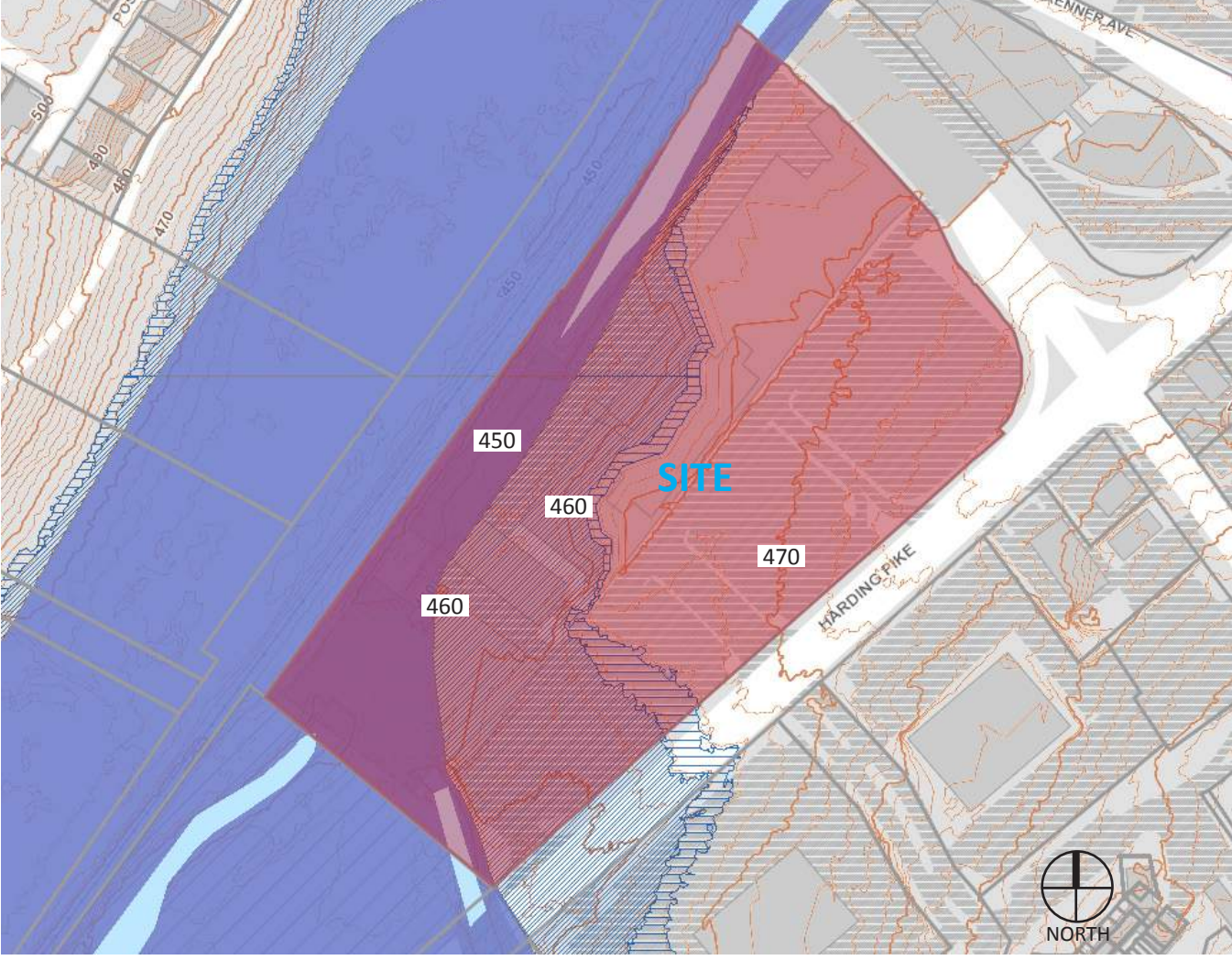
There is a fairly significant amount of grade change over the site, from a high point at the corner of Harding and White Bridge of 476' to a low point on the bank of Richland Creek of 444'. The area surrounding Richland Creek in the northern portion of the site has significant slopes exceeding 20-25% in some cases.

SOILS

The soils in the area are Maury-Urban land complex (McB) with 2-7% slopes.

Typical Profile

- H1 - 0 to 7 inches: silt loam
- H2 - 7 to 24 inches: silty clay loam
- H3 - 24 to 65 inches: silty clay



FLOODWAY

Most of the western portion of this site is located within the FEMA designated Floodway of Richland Creek. This includes some of the existing buildings on site.

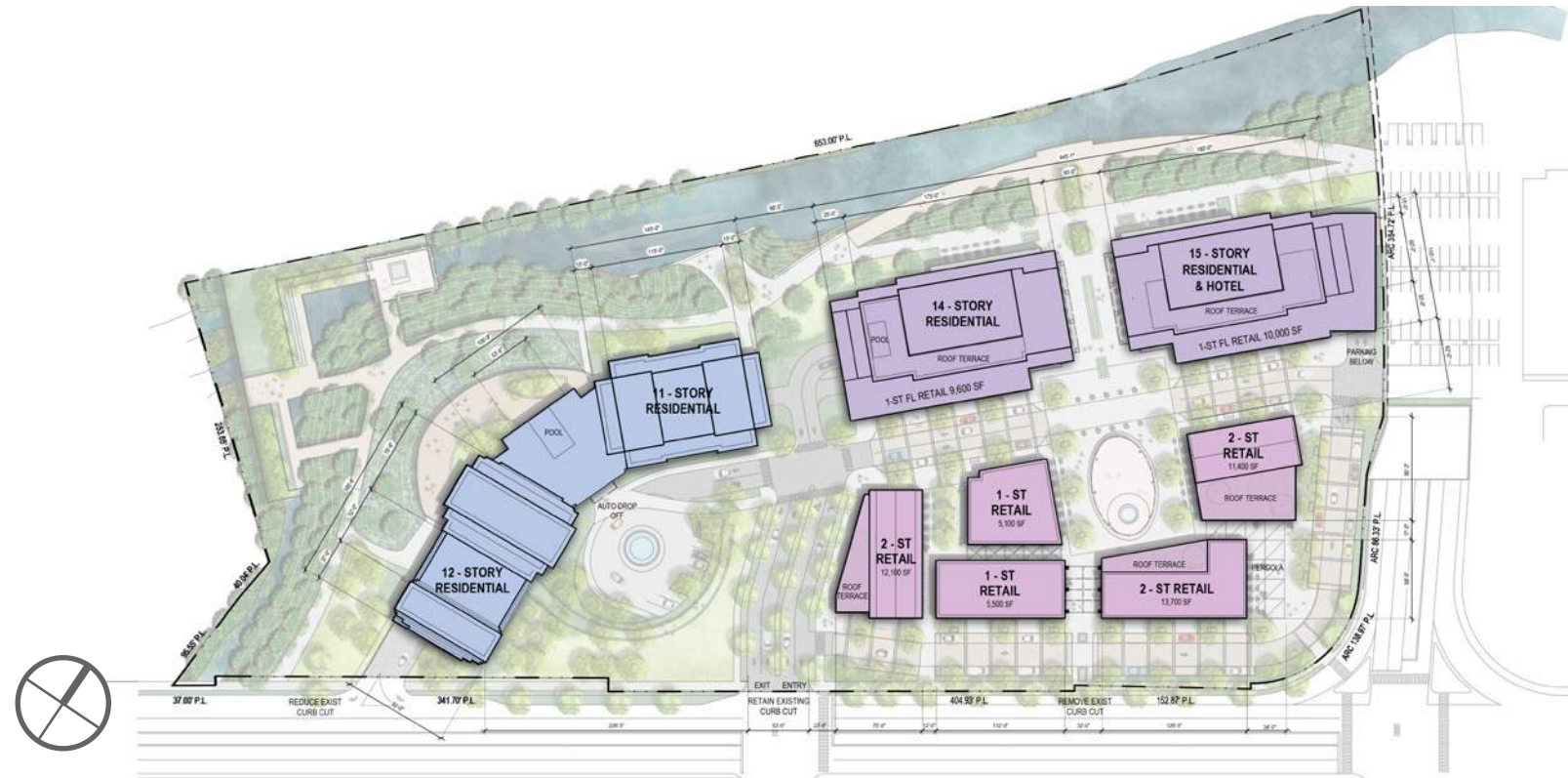
FLOODPLAIN

A little less than half of this site is located within the FEMA designated 100 Year Floodplain. It appears that the elevation for the 100 Year Flood in this area is roughly 463', but further discussion with Metro Water Services will be required to confirm this elevation as it relates to Richland Creek.

Stream daylighting and stormwater variance process and regulations for the floodway and floodplain with MWS should be guided and confirmed by the Civil Engineer.



TOPOGRAPHY & HYDROLOGY MAPS



MODIFICATIONS TO THE SP

Pursuant to the Metropolitan Zoning Code minor modifications to the SP Plan may be approved by the Planning Commission or its designee based on final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this exacting ordinance, or add vehicular access points not currently present or approved.

DISTRICT REGULATIONS

Maximum FAR = 2.0

- Residential area is to be Included as Floor Area within the SP Boundary.
- Structured parking shall not be counted as Floor Area for the purpose of calculating FAR.

Maximum ISR = .90

Maximum Height = Stories, Building Elevations And Setbacks Per SP Proposal Site Plan, Elevations And Sections.

Residential Uses = Per SP Proposal Site Plan, Elevations And Sections.

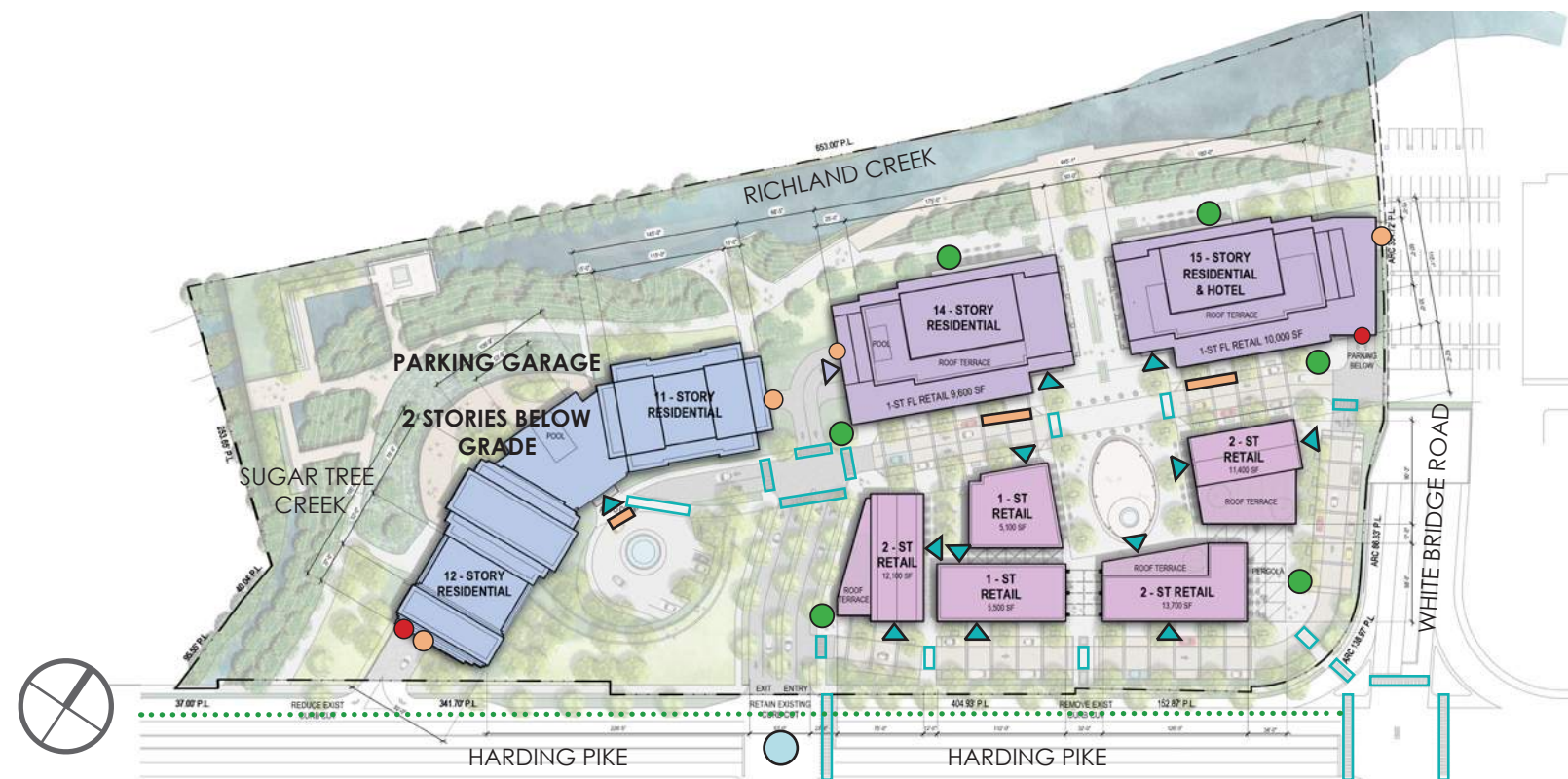
Build To Zone = 0 To 15 Feet, Per SP Proposal.

Side And Rear Setback = 0 Feet, Per SP Proposal.

Permitted Uses = Reference Permit Use Tables On The Following Pages.

All development within the boundaries of this plan will meet the requirements of the Americans with Disabilities Act and the Fair Housing Act.

SITE ZONING & REGULATIONS



ARCHITECTURAL STANDARDS

1. The architectural design of the buildings within the SP development sites is to be consistent with these standards as well as the general fabric and development pattern of the existing neighborhood.
2. All buildings shall provide a functional entry onto the street/sidewalk network or other public open space at frequent intervals to promote activity at the street level. All buildings shall have at least one pedestrian entrance on a Principal Building Frontage fronting the street or central plaza. This entrance may be access to a lobby shared by individual tenants.
3. A significant portion of the street level facade (ie doors and windows) shall be transparent to provide visual interest and pedestrian access. At ground floor locations along street frontage of all buildings a minimum of 40% glazing is required from grade to 14 ft.
4. Masonry, stone, and metal materials will primarily be used in the construction of the new development within the SP.
5. Door and window openings in masonry facades should be recessed (2" minimum) rather than flush with the rest of the wall.
6. Large expanses of featureless materials are not appropriate. For building facades fronting streets and public open space, the width of any blank facade (without glazing) shall not exceed 30 feet. Masonry pilasters, masonry wall recesses or projections, and/or variations in material and color may be used to achieve this massing standard.
7. Vinyl siding, EIFS and untreated wood shall not be permitted. Tinted glass or colored glass may not be used for windows. Spandrel or fritted glazing at required areas is acceptable.
8. Refuse collection, recycling and ground level mechanical equipment shall be fully screened from public view by the combination of fences, walls and landscaping.
9. Roof-top equipment, skylights and roof penetrations located on or attached to the roof shall be located as to minimize their visibility from the street. Typically, screening does not meet the requirement for "minimal visibility".

SITE ZONING & REGULATIONS

SITE ACCESS AND PARKING DIAGRAM LEGEND

- VEHICULAR FOUR WAY INTERSECTION AT HARDING PIKE AND (TWO WAY)
- VEHICULAR SITE ENTRY/EXIT WITH STOP SIGN FOR EGRESS. CHESTNUT ST. CROSS TRAFFIC DOES NOT STOP (TWO WAY)
- PARKING GARAGE ENTRY/EXIT (TWO WAY)
- OFF STREET LOADING AREA
- BIKE PARKING
- POTENTIAL HARDING PIKE BIKE LANE
- CURB CUT LOADING ZONE FOR DROP OFF
- PEDESTRIAN CROSSWALKS AT CHESTNUT ST. AND MARTIN ST.
- PRIMARY BUILDING USE ENTRY LOCATION
- PUBLIC PARKING ACCESS

ACCESS & PARKING STANDARDS

10. Site access to be provided per SP plan, civil plans and the site access diagram.
11. Loading to occur off street at the locations highlighted. Loading access via curb cuts highlighted.
12. Minimum 827 shared parking spaces to be provided amongst the project site. Parking garage use is to be shared and available for public use as required for the occupancies provided within the SP development. Ref. shared parking analysis for additional information.
13. Bicycle parking per zoning code 17.20.135.

	USE ALLOWED	USE PROHIBITED
RESIDENTIAL USES		
Single-family	Y	
Two-family	Y	
Multi-family	Y	
Elderly housing	Y	
Mobile home dwelling		X
Accessory apartment		X
Accessory dwelling, detached		X
Boarding house	Y	
Consignment sale	Y	
Domesticated hens		X
Garage sale	Y	
Historic bed and breakfast homestay		X
Historic home events	Y	
Home occupation	Y	
Rural bed and breakfast homestay		X
Security residence		X
Short term rental property (STRP) Owner occupied		X

INSTITUTIONAL USES		
Correctional facility		X
Cultural center	Y	
Day care center (Up to 75)	Y	
Day care center (Over 75)	Y	
Day care home		X
Day care—Parent's day out	Y	
School day care	Y	
Monastery or convent	Y	
Orphanage	Y	
Religious institution	Y	

EDUCATIONAL USES		
Business school	Y	
College or university		X
Community education	Y	
Dormitory	Y	
Fraternity/sorority house		X
Personal instruction	Y	
Vocational school	Y	

	USE ALLOWED	USE PROHIBITED
OFFICE USES		
Alternative financial services		X
Financial institution	Y	
General office	Y	
Leasing/sales office	Y	

MEDICAL USES		
Animal hospital		X
Assisted-care living	Y	
Hospice	Y	
Hospital		X
Medical appliance sales	Y	
Medical office	Y	
Medical or scientific lab	Y	
Nonresidential drug treatment facility		X
Nursing home	Y	
Outpatient clinic	Y	
Rehabilitation services	Y	
Residence for handicapped, more than eight individuals	Y	
Veterinarian	Y	

COMMUNICATION USES		
Amateur radio antenna	Y	
Audio/video tape transfer	Y	
Communications hut	Y	
Multi-media production	Y	
Printing and publishing	Y	
Radio/TV studio	Y	
Satellite dish	Y	
Telecommunication facility	Y	

	USE ALLOWED	USE PROHIBITED
COMMERCIAL USES		
Animal boarding facility	Y	
ATM	Y	
Auction house	Y	
Automobile convenience	Y	
Automobile parking	Y	
Automobile repair		X
Automobile sales, new		X
Automobile sales, used	Y	
Automobile service		X
Bar or nightclub	Y	
Bed and breakfast inn	Y	
Beer and cigarette market		X
Boat storage		X
Business service	Y	
Carpet cleaning		X
Car wash	Y	
Community gardening (commercial)	Y	
Community gardening (noncommercial)	Y	
Custom assembly	Y	
Donation center, drop-off	Y	
Flea market	Y	
Funeral home	Y	
Furniture store	Y	
Grocery store	Y	
Home improvement sales	Y	
Hotel/motel	Y	
Inventory stock		X
Kennel/stable	Y	
Laundry plants		X
Liquor sales	Y	
Major appliance repair		X
Mobile storage unit		X
Mobile vendor		X
Nano brewery	Y	
Personal care services	Y	
Restaurant, fast-food	Y	
Restaurant, full-service	Y	
Restaurant, take-out	Y	
Retail	Y	
Self-service storage		X
Short term rental property (STRP)—Not owner occupied		X
Vehicular rental/leasing		X
Vehicular sales and service, limited	Y	
Wrecker service		X

	USE ALLOWED	USE PROHIBITED
INDUSTRIAL USES		
Artisan distillery	Y	
Asphalt plant		X
Building contractor supply		X
Compressor station		X
Concrete plant		X
Distributive business/wholesale		X
Fuel storage		X
Heavy equipment, sales and service		X
Hazardous operation		X
Manufacturing, Artisan	Y	
Manufacturing, heavy		X
Manufacturing, medium		X
Manufacturing, light		X
Microbrewery	Y	
Research service		X
Scrap operation		X
Tank farm		X
Tasting room	Y	
Warehouse		X

TRANSPORTATION USES		
Airport, medium or large commercial service		X
Airport/heliport		X
Boat dock (commercial)		X
Bus station/landport		X
Bus transfer station		X
Commuter rail		X
Helistop		X
Motor freight		X
Park and ride lot		X
Railroad station		X
Railroad yard		X
Water taxi station		X

UTILITY USES		
Power/gas substation		X
Power plant		X
Reservoir/water tank	Y	
Safety services	Y	
Waste water treatment		X
Water/sewer pump station	Y	
Water treatment plant		X
Wind energy facility (small)	Y	
Wind energy facility (utility)		X

	USE ALLOWED	USE PROHIBITED
RECREATION & ENTERTAINMENT USES		
Adult entertainment		X
After hours establishment		X
Camp		X
Club	Y	
Commercial amusement (inside)	Y	
Commercial amusement (outside)	Y	
Country club		X
Drive-in movie		X
Driving range	Y	
Fairground		X
Golf course	Y	
Greenway	Y	
Park	Y	
Racetrack		X
Recreation center	Y	
Rehearsal hall	Y	
Sex club		X
Small outdoor music event	Y	
Stadium arena/convention center	Y	
Temporary festival	Y	
Theater	Y	
Theatre	Y	
Zoo		X

OTHER USES		
Agricultural activity		X
Cemetery		X
Domestic animals/wildlife		X
Mineral extraction		X
On-site agricultural sales		X
Pond/lake	Y	

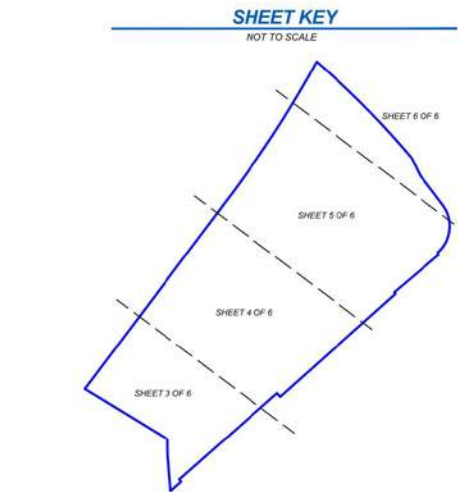
WASTE MANAGEMENT USES		
Collection center		X
Construction/demolition landfill		X
Construction/demolition waste processing (project specific)		X
Medical waste		X
Recycling collection center		X
Recycling facility		X
Sanitary landfill		X
Waste transfer		X

PERMITTED USES TABLE

ALTA/NSPS LAND TITLE SURVEY

4500 HARDING PIKE
NASHVILLE, DAVIDSON COUNTY, TENNESSEE 37205

BOUNDARY AND EASEMENT DETAIL



LEGEND & SYMBOLS

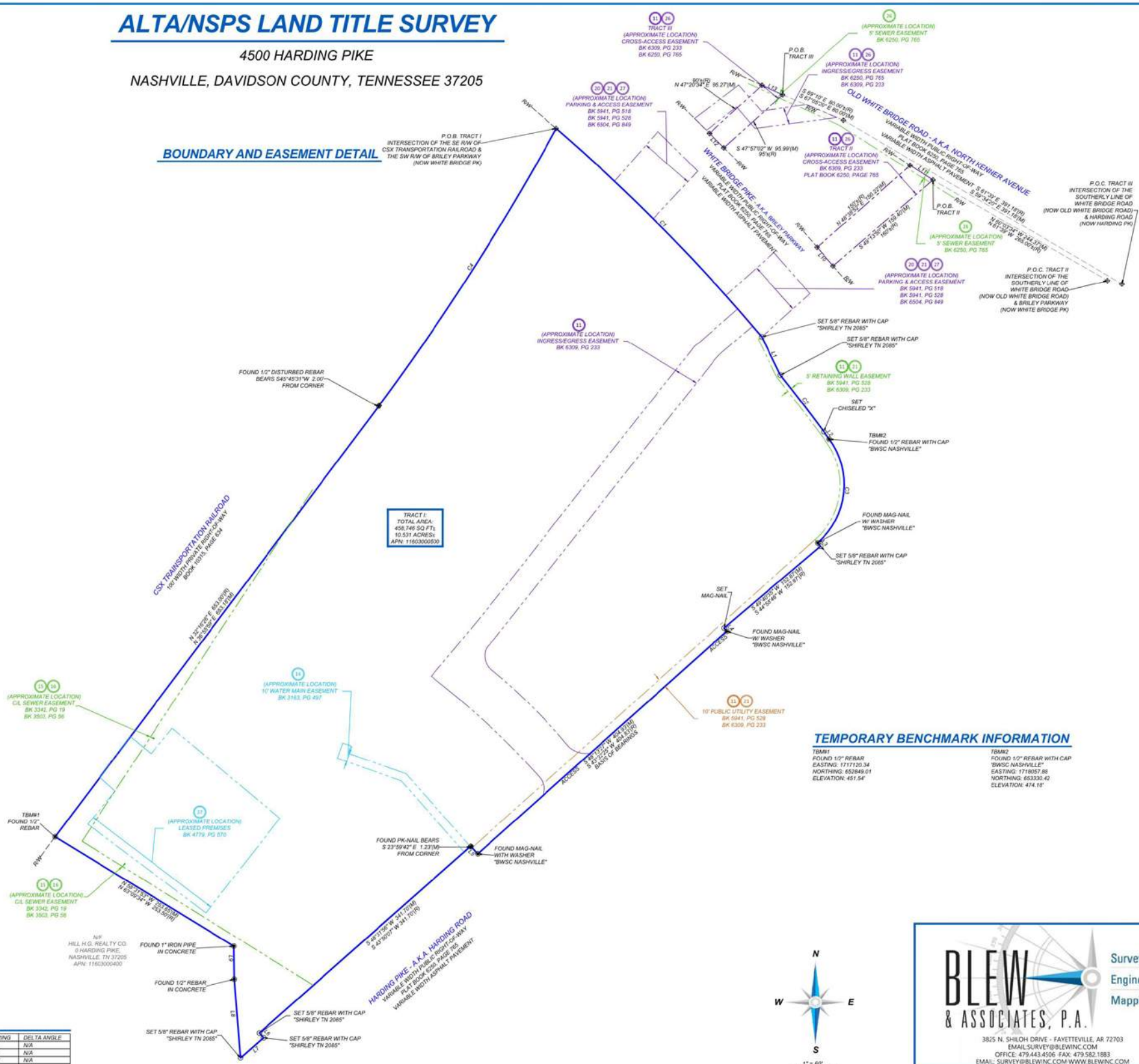
FOUND MONUMENT AS NOTED	(M) MEASURED CALCULATED DIMENSION	BOUNDARY LINE
SET MONUMENT ASSIGNED	(R) RECORD DIMENSION	EASEMENT LINE
COMPUTED POINT	(P) PARKING SPACE(S)	RIGHT OF WAY
HANDICAP PARKING	(S) BUILDING SETBACK LINE	CENTERLINE
FIRE HYDRANT	(CL) CENTERLINE	FENCE LINE
LIGHT POLE	(RW) RIGHT OF WAY	OVERHEAD POWER LINE
BOLLARD	(NP) NOW OR FORMERLY	FLOOD ZONE
SANITARY MANHOLE	(B) BUILDING HEIGHT LOCATION	HANDRAIL
ELECTRIC METER	(F) FINISHED FLOOR ELEVATION	EDGE OF WATER
ELECTRIC BOX	(O) OVERHEAD	UNDERGROUND STORM SEWER
TELEPHONE PEDestal	(NS) NATURAL GROUND	UNDERGROUND GAS LINE
WATER METER	(CC) CONCRETE	UNDERGROUND SANITARY SEWER LINE
WATER VALVE	(P.O.B.) POINT OF COMMENCEMENT	UNDERGROUND ELECTRICAL LINE
SEWER VALVE	(P.O.B.) POINT OF BEGINNING	UNDERGROUND TELEPHONE LINE
SEWER VAULT	(SQ.FT) SQUARE FEET	UNDERGROUND FIBER OPTIC LINE
ELECTRIC VAULT	(BOC) BACK OF CURB	RAILROAD
SEWER	(FL) FLOW LINE	
AIR CONDITIONER	(TA) TOP OF ASPHALT	
ELECTRICAL METER	(TC) TOP OF CONCRETE	
GAS METER	(SW) TOP OF SIDEWALK	
CLEANOUT	(NG) TOP OF NATURAL GROUND	
GREASE TRAP	(TG) TOP OF GRAVEL	
FLAQRULE	(RW) TOP OF RETAINING WALL	
DUMPSTER AREA		
TRASH COMPACTOR		

LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1(M)	S 26°06'11"E	51.58'	L1(R)	S 30°48'00"E	51.36'
L2(M)	S 36°18'53"E	11.17'	L2(R)	S 41°00'42"E	11.17'
L3(M)	S 40°15'45"E	8.35'	L3(R)	S 44°15'34"E	8.35'
L4(M)	S 42°37'50"E	5.00'	L4(R)	S 44°45'54"E	5.00'
L5(M)	N 41°46'08"W	12.60'	L5(R)	N 48°40'27"W	12.51'
L6(M)	S 41°29'08"W	7.50'	L6(R)	S 45°18'37"E	7.50'
L7(M)	S 48°34'52"W	37.00'	L7(R)	S 47°53'03"W	37.00'
L8(M)	N 04°32'08"W	95.55'	L8(R)	N 09°12'57"W	95.97'
L9(M)	N 00°43'35"W	45.04'	L9(R)	N 08°09'34"W	39.97'
L10(M)	N 40°42'22"W	29.78'	L10(R)	N 08°58'19"W	30.3'
L11(M)	S 07°08'35"E	30.63'	L11(R)	N/A	30.3'
L12(M)	N 45°12'30"W	24.60'	L12(R)	NORTHWESTERLY	25.3'
L13(M)	S 69°33'55"E	27.79'	L13(R)	N/A	25.3'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(M)	225.83'	354.72'	354.35'	S 44°38'11"E	02°11'17"	C1(R)	225.83'	354.72'	354.34'	S 43°18'07"E	N/A
C2(M)	2240.53'	86.33'	86.32'	S 37°31'53"E	02°12'26"	C2(R)	2240.83'	86.32'	86.319'	S 42°13'40"E	N/A
C3(M)	93.00'	138.97'	126.40'	S 09°27'13"W	03°31'14"	C3(R)	93.00'	138.96'	126.04'	S 01°45'24"W	N/A
C4(M)	2914.93'	398.42'	398.09'	N 32°35'40"E	07°49'51"	C4(R)	2914.93'	398.42'	398.085'	N 27°53'51"E	N/A



TEMPORARY BENCHMARK INFORMATION

TBM1 FOUND 1/2" REBAR EASTING: 1717125.34 NORTHING: 653330.42 ELEVATION: 451.54'	TBM2 FOUND 1/2" REBAR WITH CAP "BWSC NASHVILLE" EASTING: 1718687.88 NORTHING: 653330.42 ELEVATION: 474.16'
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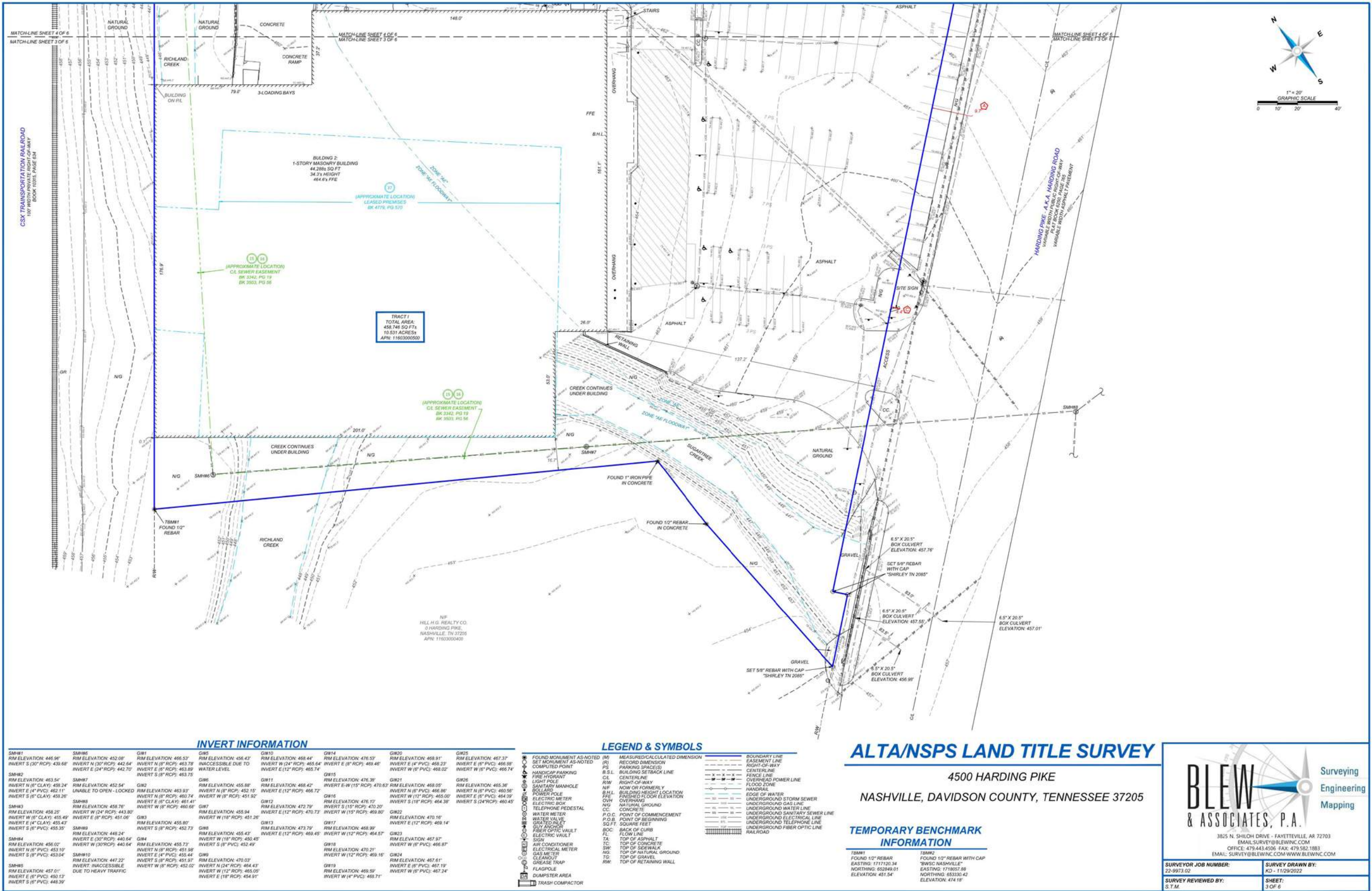


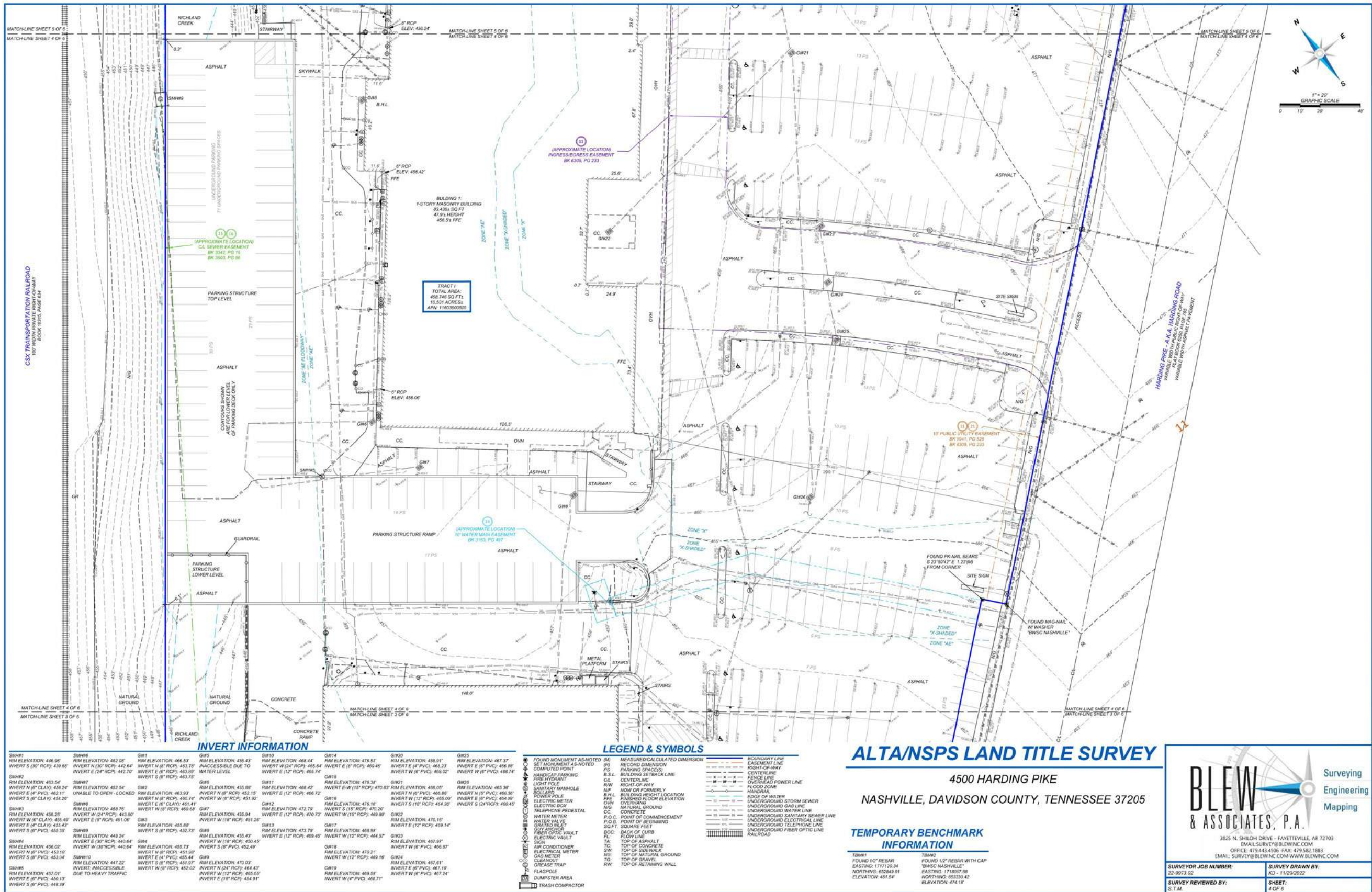
BLEW & ASSOCIATES, P.A.

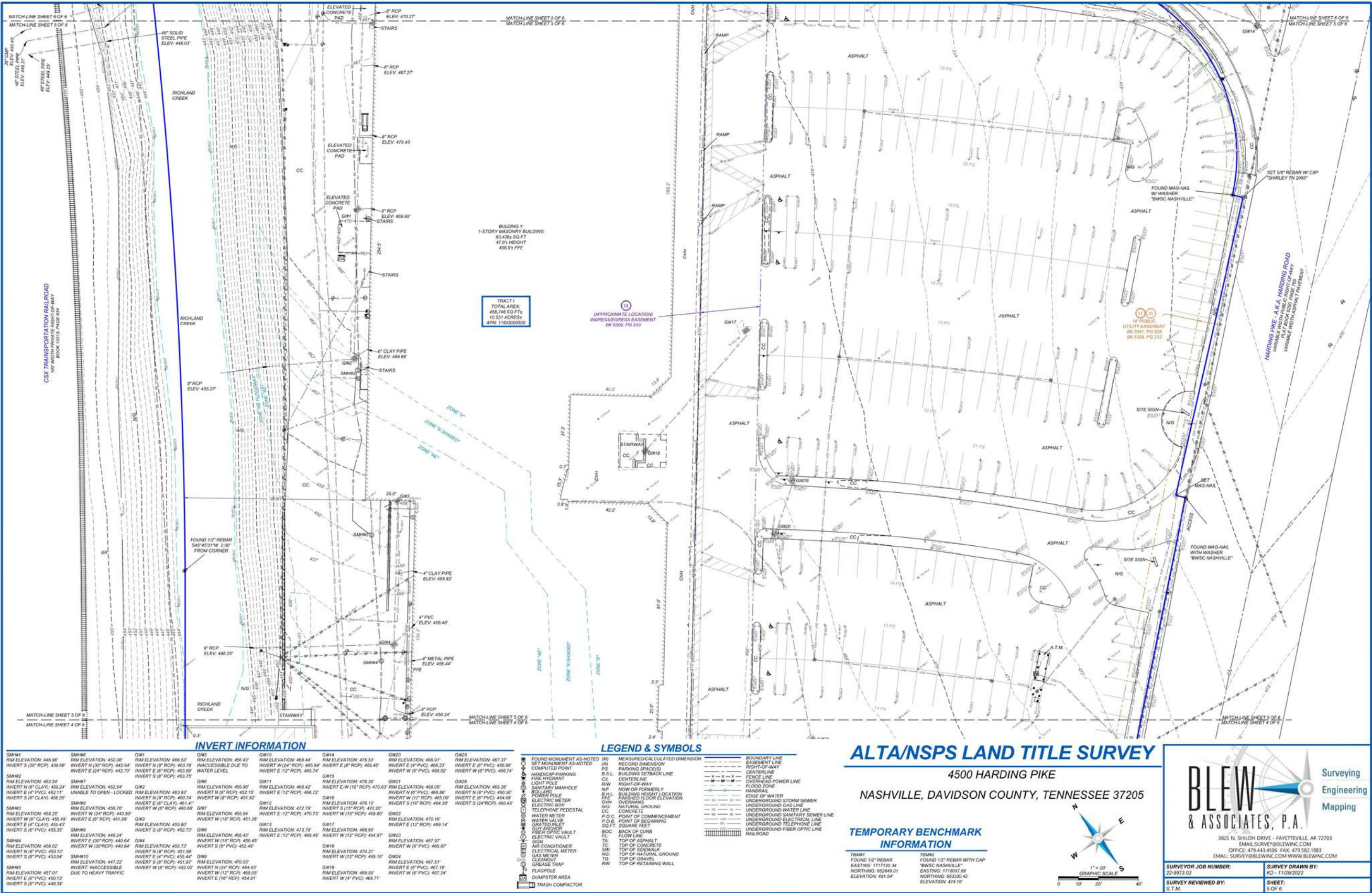
Surveying
Engineering
Mapping

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
EMAIL: SURVEY@BLEWINC.COM WWW.BLEWINC.COM

SURVEYOR JOB NUMBER: 22-9973.02	SURVEY DRAWN BY: KD - 11/29/2022
SURVEY REVIEWED BY: S.T.M.	SHEET: 2 OF 6









EXISTING SITE DATA

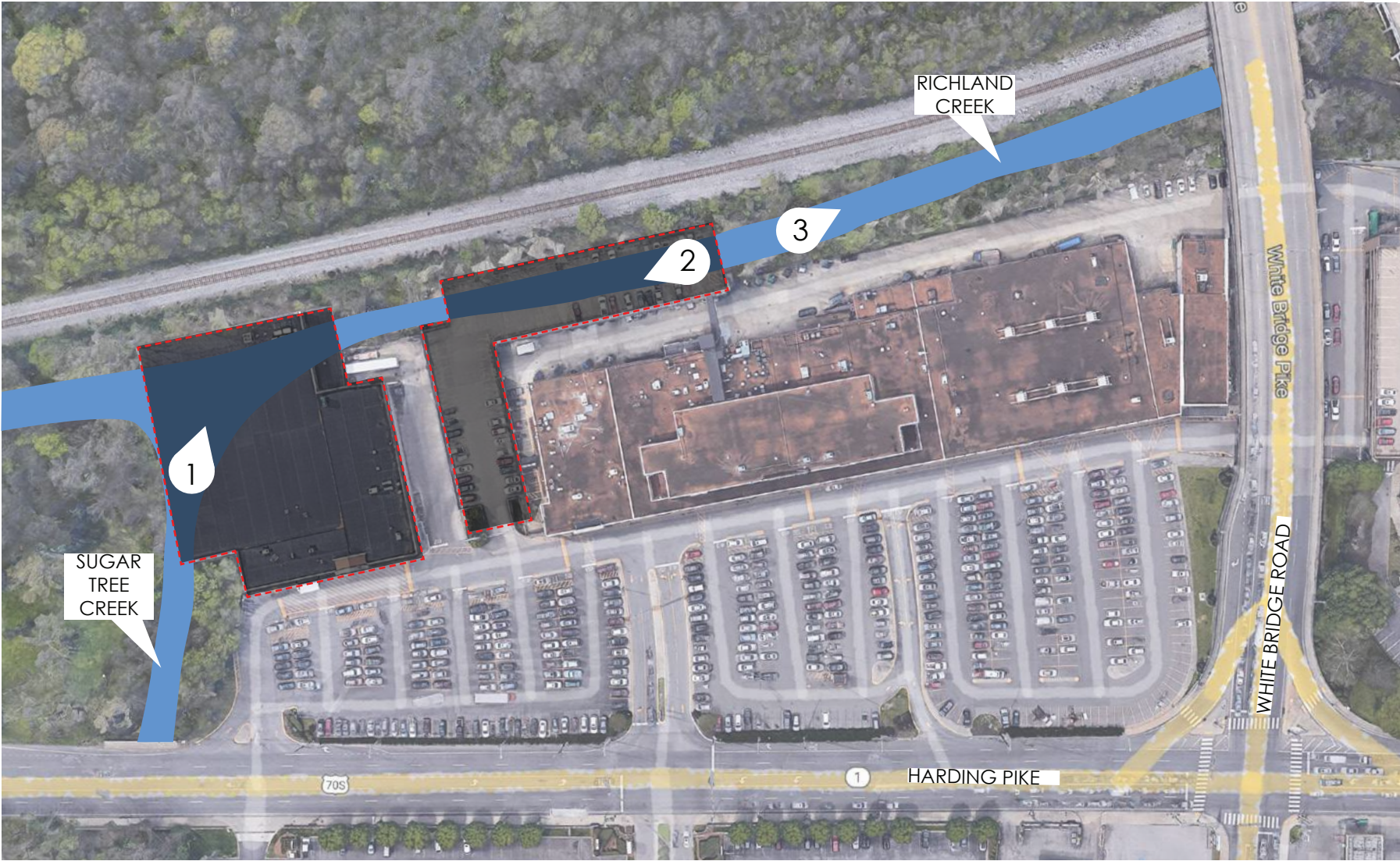
SITE: 458,856 SF (10.53 AC) EXISTING GBA: 206,434 SF
EXISTING SITE COVERAGE: 154,000 SF (34 % COVERAGE)
EXISTING IMPERVIOUS SITE COVERAGE: 409,322 SF (89% COVERAGE)
EXISTING PARKING COUNT: 664 STALLS



EXISTING SITE AERIAL

EXISTING SITE DATA

SITE: 458,856 SF (10.53 AC) EXISTING GBA: 206,434 SF
EXISTING SITE COVERAGE: 154,000 SF (34 % COVERAGE)
EXISTING IMPERVIOUS SITE COVERAGE: 409,322 SF (89% COVERAGE)
EXISTING PARKING COUNT: 664 STALLS



EXISTING CREEK COVERAGE



1. EXISTING CREEK CONDITION UNDER THE GROCERY STRUCTURE



2. EXISTING CREEK CONDITION UNDER THE PARKING STRUCTURE



3. EXISTING CREEK CONDITION



CREEK DAYLIGHTING

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



VICINITY MAP
(N.T.S.)

BUILDING TENANTS

#1500 KATY'S HALLMARK
#1504 OFFICE DEPOT
#1514 STARBUCKS
#1516 PHO AND VIETNAMESE CUISINE
#1518 BELLE MEADE PREMIUM CIGARS
#1520 EL STUFFED PEPPERS MEXICAN
#1522 COME SIT & STAY
#1524 CVS PHARMACY
#1526 VACANT
#1528 VACANT
#1530 NINA SUSHI & STEAK HOUSE
#1534 VANDERBILT HEALTH HALL-CLINIC
#1540 WELLS FARGO
#1542 SOCIAL GRACE NAIL BAR
#1546 SMOOTHIE KING
#1548 BELLE MEADE JEWELRY
#1550 NEWS
#1556A NASHVILLE WINE & SPIRITS

RECORD DESCRIPTION

TRACT I

Being a parcel of land in the first civil district of Nashville, Davidson County, Tennessee, located in the northeast quadrant of the intersection of West End Avenue (U.S. Highway 70) and Old White Bridge Road, and being more particularly described as follows:

BEGINNING AT AN IRON PIN IN THE EASTERLY MARGIN OF LOUISE AVENUE AT THE NORTH END OF THE RETURN OF THE INTERSECTION WITH WEST END AVENUE; THENCE, WITH THE EASTERLY MARGIN OF LOUISE AVENUE, NORTH 30 DEGREES 42 MINUTES 21 SECONDS WEST A DISTANCE OF 543.16 FEET TO A PUNCH MARK IN SIDEWALK IN THE SOUTHERLY MARGIN OF HAYES STREET (30 FOOT RIGHT-OF-WAY); THENCE, WITH SAID EASTERLY MARGIN OF HAYES STREET, NORTH 83 DEGREES 03 MINUTES 02 SECONDS EAST A DISTANCE OF 352.00 FEET TO A PUNCH MARK IN SIDEWALK; THENCE, LEAVING SAID HAYES STREET WITH THE WESTERLY LINE OF LOT NO. 1 OF AN UNRECORDED VANDERBILT PLAZA CONSOLIDATION PLAT IN THE NAME OF LOUISIANA HOTEL, CORPORATION OF RECORD IN BOOK 6014, PAGE 265, R.O.D.C. THE FOLLOWING COURSES AND DISTANCES: SOUTH 36 DEGREES 49 MINUTES 00 SECONDS EAST A DISTANCE OF 190.00 FEET TO A POINT; SOUTH 36 DEGREES 45 MINUTES 00 SECONDS EAST A DISTANCE OF 80.00 FEET TO A POINT; SOUTH 53 DEGREES 03 MINUTES 00 SECONDS WEST A DISTANCE OF 121.10 FEET TO A POINT; AND SOUTH 36 DEGREES 45 MINUTES 00 SECONDS WEST A DISTANCE OF 168.26 FEET TO A PUNCH MARK IN SIDEWALK; THENCE, WITH A CURVE CONCAVE TO THE NORTH HAVING A CENTRAL ANGLE OF 30 DEGREES 14 MINUTES 39 SECONDS, A RADIUS OF 10.30 FEET AND A CHORD OF NORTH 81 DEGREES 49 MINUTES 40 SECONDS WEST A DISTANCE OF 14.17 FEET FOR AN ARC LENGTH OF 15.75 FEET TO THE POINT OF BEGINNING, CONTAINING 100.01 SQUARE FEET OR 2.48 ACRES, MORE OR LESS, AS SHOWN ON ALTA/CSM LAND TITLE SURVEY FOR 7200 WEST END AVENUE, LLC, WELLS OPERATING PARTNERSHIP, L.P., BANK OF AMERICA, N.A. AND CHICAGO TITLE INSURANCE COMPANY, PREPARED BY BARGE WAGGONER SUMNER & CANNON, INC., CERTIFIED BY JUDY L. JUDSON, TENNESSEE REGISTERED LAND SURVEYOR NO. 1935, DATED NOVEMBER 13, 2002.

RECORD DESCRIPTION

TRACT II

Being a rectangular 30-foot wide strip of land in Nashville, Davidson County, Tennessee, crossing part of Lot No. 6, shown on the Plan of W.P. Ready's subdivision of John W. Love tract of record in Book 421, Page 105, Register's Office for Davidson County, Tennessee, and a strip of 0.5 acres, more or less, adjacent to said Lot No. 6, on the northeast, said strip being located between Old White Bridge Road and Briley Parkway generally parallel to Harding Road (Memphis-Detroit Highway) and being more particularly described as follows:

BEGINNING at a point in the southerly right-of-way of Old White Bridge Road, said point being N 81° 38' 16" E, 265 feet, more or less, from the northerly right-of-way of Harding Road;
THENCE, leaving said Old White Bridge Road generally parallel to said Harding Road, 160 feet, more or less, to the southerly right-of-way of Briley Parkway;
THENCE, in a northwesterly direction with said right-of-way 30 feet, more or less;
THENCE, leaving said Briley Parkway with a line generally parallel to said Harding Road, 150 feet, more or less, to the southerly right-of-way of Old White Bridge Road;
THENCE, with said right-of-way 30 feet, more or less, to the Point of Beginning.
Containing approximately 4,650 square feet or 0.11 acres, more or less.

EXISTING SITE DATA

SITE: 458,856 SF (10.53 AC)
FLOODWAY AREA: 168,749 SF (3.87 AC)
EASEMENT AREA: 27,500 SF (0.63 AC)
SITE A AREA: 158,725 (3.64 AC)
SITE B AREA: 104,417 (2.39 AC)

RECORD DESCRIPTION

TRACT III

Being a rectangular 25-foot wide strip of land in Nashville, Davidson County, Tennessee, crossing part of Lot No. 6, shown on the Plan of W.P. Ready's subdivision of John W. Love tract of record in Book 421, Page 105, Register's Office for Davidson County, Tennessee, and a strip of 0.5 acres, more or less, adjacent to said Lot No. 6, on the northeast, said strip being located between Old White Bridge Road and Briley Parkway generally parallel to Harding Road (Memphis-Detroit Highway) and being more particularly described as follows:

BEGINNING at a point in the southerly right-of-way of Old White Bridge Road, said point being N 81° 38' 16" E, 265 feet, more or less, from the northerly right-of-way of Harding Road;
THENCE, leaving said Old White Bridge Road generally parallel to said Harding Road, 85 feet, more or less, to the southerly right-of-way of Briley Parkway;
THENCE, in a northwesterly direction with said right-of-way 25 feet, more or less;
THENCE, leaving said Briley Parkway with a line generally parallel to said Harding Road, 90 feet, more or less, to the southerly right-of-way of Old White Bridge Road;
THENCE, with said right-of-way 25 feet, more or less, to the Point of Beginning.
Containing approximately 2,315 square feet or 0.05 acres, more or less.

TRACTS II AND III being the same property conveyed to BMP, L.L.C., a Tennessee Limited Liability Company, by Special Warranty deed from Belle Meade Fund Partners, L.P., a Delaware Limited Partnership, of record in Book 10315, Page 634, Register's Office for Davidson County. The said BMP, L.L.C., a Tennessee Limited Liability Company has since merged into BMP Partnership, a Tennessee General Partnership as evidenced by a Certificate of Merger of record as Instrument No. 15891229-000696, in said Register's Office.

NOTES

- THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY 1) WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYS, STATE OF TENNESSEE.
- REMARKS SHOWN ARE BASED ON RECORDED SUBDIVISION PLAT (SEE PLAT REFERENCE).
- PROPERTY IS ZONED "MIXED USE LIMITED" WITHIN THE FLOOD PLAIN OVERLAY DISTRICT. ZONING INFORMATION SHOWN HEREON WAS TAKEN FROM THE ZONING REPORT SITE #53309, DATED NOVEMBER 9, 2017 BY ZONING-INFO, INC.
- BASED UPON A GRAPHIC SCALE A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY NO. 47046, PANEL NO. 0351 K, AND PANEL NO. 0238 H, DATED APRIL 5, 2017. SHADED ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. ZONE "AE" - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE REMAINDER OF SUBJECT PROPERTY LIES IN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATED VISIBLE APURTENANCES, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND OTHER DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION CONSULTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. AVAILABILITY AND COST OF SERVICES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, IT IS A REQUIREMENT OF THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, FOR ANYONE WHO ENGAGES IN EXCAVATION TO NOTIFY ALL KNOWN UTILITY OWNERS NO LESS THAN THREE (3) OR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE. CALL TENNESSEE ONE CALL AT 1-800-4-A-UTILITY.
- TITLE COMMITMENT NO. NCS-863887 HAS, DATED OCTOBER 2, 2017 BY FIRST AMERICAN TITLE INSURANCE COMPANY, WAS FURNISHED TO THIS SURVEYOR.
- THE BUILDING AREA SHOWN HEREON IS THE APPROXIMATE AREA OF THE BUILDING FOOTPRINT AS CALCULATED FROM FIELD LOCATED BUILDING CORNERS. NO ATTEMPT WAS MADE TO DETERMINE THE LEASABLE AREA.
- NO EVIDENCE OF EARTH MOVING, WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK FOR THIS SURVEY.
- POSSIBLE CHANGES IN STREET RIGHT-OF-WAY PER METRO NASHVILLE MAJOR AND COLLECTOR STREET PLAN, HARDING PIKE AS TS-M-ABE CONSTRAINED STREET - ROW SET.
- NO WETLAND DELINEATION BY OTHERS WAS APPARENT IN THE FIELD, HOWEVER THIS DOES NOT CERTIFY THE EXISTENCE OR ABSENCE OF WETLANDS, ONLY THE ABSENCE OF A DELINEATION.
- SUGARTREE CREEK AND RICHLAND CREEK RUN UNDER THE KROGER BUILDING AND CONCRETE PARKING DECK. THE DEPICTION OF THE APPROXIMATE LOCATION OF SAID CREEK IS BASED ON SURVEY BY BWSC.

ZONING NOTE

ACCORDING TO THE ZONING REPORT SITE #53309, DATED NOVEMBER 9, 2017 BY ZONING-INFO, INC., THE FOLLOWING APPLIES TO "MIXED USE LIMITED" DISTRICT WITHIN THE FLOOD PLAIN OVERLAY DISTRICT:

- MINIMUM YARD REQUIREMENTS:**
STREET = 10 FEET FROM CENTERLINE OF R.O.W. OF HARDING ROAD (191 FEET EXISTING)
SIDE-NOISE REQUIRED
REAR=20 FEET
MAXIMUM FAR=1.00 (3.81 EXISTING)
MAXIMUM ISR=30 (416.067 S.F.) (408.322 S.F. EXISTING)
MAX. BUILDING HEIGHT AT SETBACK= 45 FEET
SLOPE OF HEIGHT CONTROL PLANE IN 10' TO 1:1.5 TO 1
- PARKING:**
REQUIRED: 634 TOTAL SPACES
EXISTING: 412 SPACES (MARKED), 21 HANDICAP SPACES MARKED FOR A TOTAL OF 433 TOTAL MARKED SPACES ON SITE
ADDITIONAL PUBLIC PARKING WITHIN EASEMENT UNDER WHITE BRIDGE ROAD BRIDGE - 73 SPACES
GRAND TOTAL = 604 TOTAL SPACES FOR USE ON THE PROPERTY
- NOTE:** SINCE ZONING REQUIREMENTS MAY REQUIRE INTERPRETATION, WE REFER YOU TO THE METROPOLITAN ZONING ORDINANCE AND THE CODES DEPARTMENT.

MAPPING SYMBOLS AND CODES		LEGEND		LINE STYLES	
AR CONDITIONER (AC)	POST INDICATOR VALVE (PIV)	MANHOLE (MH)	CONCRETE AREA	SOLID	
CATCH BASIN (CB)	CONCRETE MONUMENT OLD (MONOLD)	CONCRETE MONUMENT NEW (MONNEW)	ASPHALT AREA	DOTTED	
CLEANOUT	CONCRETE MONUMENT NEW (MONNEW)	EDGE OF WOODS LINE	GRAVEL AREA	DASHED	
DOUBLE CATCH BASIN (DCB)	FLAG NAIL OLD (FNO)	FLAG NAIL NEW (FNEW)	EXEMPT LINE	SOLID	
TRIPLE CATCH BASIN (TCB)	POWER LIGHT POLE (PLP)	POWER MANHOLE (PMH)	FENCE LINE	DASHED	
AREA DRAIN (AD)	POWER POLE (PP)	POWER POLE (PP)	OVERHEAD POWER LINE	SOLID	
ELECTRIC JUNCTION BOX (EJB)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	OVERHEAD TELEPHONE LINE	DOTTED	
ELECTRIC METER (EM)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	OVERHEAD POWER AND TELEPHONE LINE	DASHED	
ELECTRIC TRANSFORMER (ETP)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	PROPERTY LINE	SOLID	
FINDING FLOOR ELEVATION (F.F.E.)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	SANITARY SEWER LINE	SOLID	
FIRE HYDRANT (FH)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	STORMWATER LINE	SOLID	
FLAG POLE (FP)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	UNDERGROUND POWER LINE	SOLID	
GAS METER (GM)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	UNDERGROUND TELEPHONE LINE	SOLID	
GUY POLE (GP)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	WATER LINE	SOLID	
GUY VALVE (GV)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	WATER METER (WM)	SOLID	
GUY WIRE (GW)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)	EDGE OF WATER	SOLID	
HIGH ROD NEW (HRN)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
HIGH ROD OLD (HRO)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
HIGH PINE OLD (HPO)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
HIGH SPIKE OLD (HSO)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
LIGHT STANDARD METAL/WOOD (LSM)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
MAIL BOX (MB)	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			
POST	POWER TELEPHONE LIGHT POLE (PTLP)	POWER TELEPHONE LIGHT POLE (PTLP)			

PARKING TABLE

MARKED HANDICAP PARKING = 21 SPACES
MARKED COMPACT PARKING = 79 SPACES
MARKED STANDARD PARKING = 333
AVAILABLE PARKING (TOP, MID AND LOWER DECKS) = 158
TOTAL PARKING ON SITE = 561
ADDITIONAL PUBLIC PARKING WITHIN EASEMENT UNDER WHITE BRIDGE ROAD BRIDGE

POSSIBLE ENCROACHMENTS

1. 32 PARKING SPACES ARE LOCATED WITHIN RIGHT OF WAY OF HARDING ROAD.

SCHEDULE B - SECTION II EXCEPTIONS

- ALL MATTERS SHOWN ON THE PLAT OF RECORD IN BOOK 6250, PAGE 765, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- EASEMENT FROM OMAN DEVELOPMENT COMPANY TO HARDING ROAD COMMUNITY WATER COMPANY, INC. OF RECORD IN BOOK 3163, PAGE 487, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- SEWER EASEMENT FROM OMAN DEVELOPMENT COMPANY TO CITY OF NASHVILLE, OF RECORD IN BOOK 3342, PAGE 19, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- SEWER EASEMENT FROM OMAN DEVELOPMENT COMPANY TO CITY OF NASHVILLE, OF RECORD IN BOOK 3363, PAGE 50, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- PERMANENT EASEMENT CONTAINED IN DEED OF RECORD IN BOOK 5941, PAGE 516, AS CORRECTED IN BOOK 6504, PAGE 849, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- PERMANENT EASEMENT CONTAINED IN DEED OF RECORD IN BOOK 5941, PAGE 516, AS CORRECTED IN BOOK 6504, PAGE 849, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).
- TERMS AND PROVISIONS OF CROSS EASEMENT AGREEMENT, BY AND BETWEEN BELLE MEADE LIMITED AND WBSNASHVILLE VENTURES, OF RECORD IN BOOK 6304, PAGE 233, IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE, (APPLIES AS SHOWN).

DEED REFERENCE

BEING PROPERTY CONVEYED TO BMP, L.L.C. BY DEED OF RECORD IN BOOK 13315, PAGE 634, R.O.D.C.

PROPERTY MAP REFERENCE

BEING PARCEL 5 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NO. 116-3.

PLAT REFERENCE

PLAT OF W.P. READY'S SUBDIVISION OF THE JOHN W. LOVE TRACT OF RECORD IN BOOK 421, PAGE 105, R.O.D.C.
PLAT SHOWING BOUNDARY SURVEY OF THE GEORGE SHYAS PROPERTY BY TURNER ENGINEERING COMPANY, INC., DATED JUNE 4, 1959.

COPY OF SURVEY OF LOTS 4 & 5 OF W.P. READY'S BY J.J. WILKINSON, DATED FEBRUARY 29, 1936, OF RECORD IN BOOK 2545, PAGE 489, R.O.D.C.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/CSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 31, 2017.

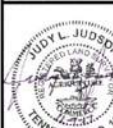
BARGE WAGGONER SUMNER & CANNON, INC.

DATE OF PLAT OR MAP: November 9, 2017
T.L.C. NO.: 1735
NAME: Judy L. Judson
PRINTED NAME: Judy L. Judson

AREA= 458,856 SQ. FT., OR 10.53 ACRES +/-

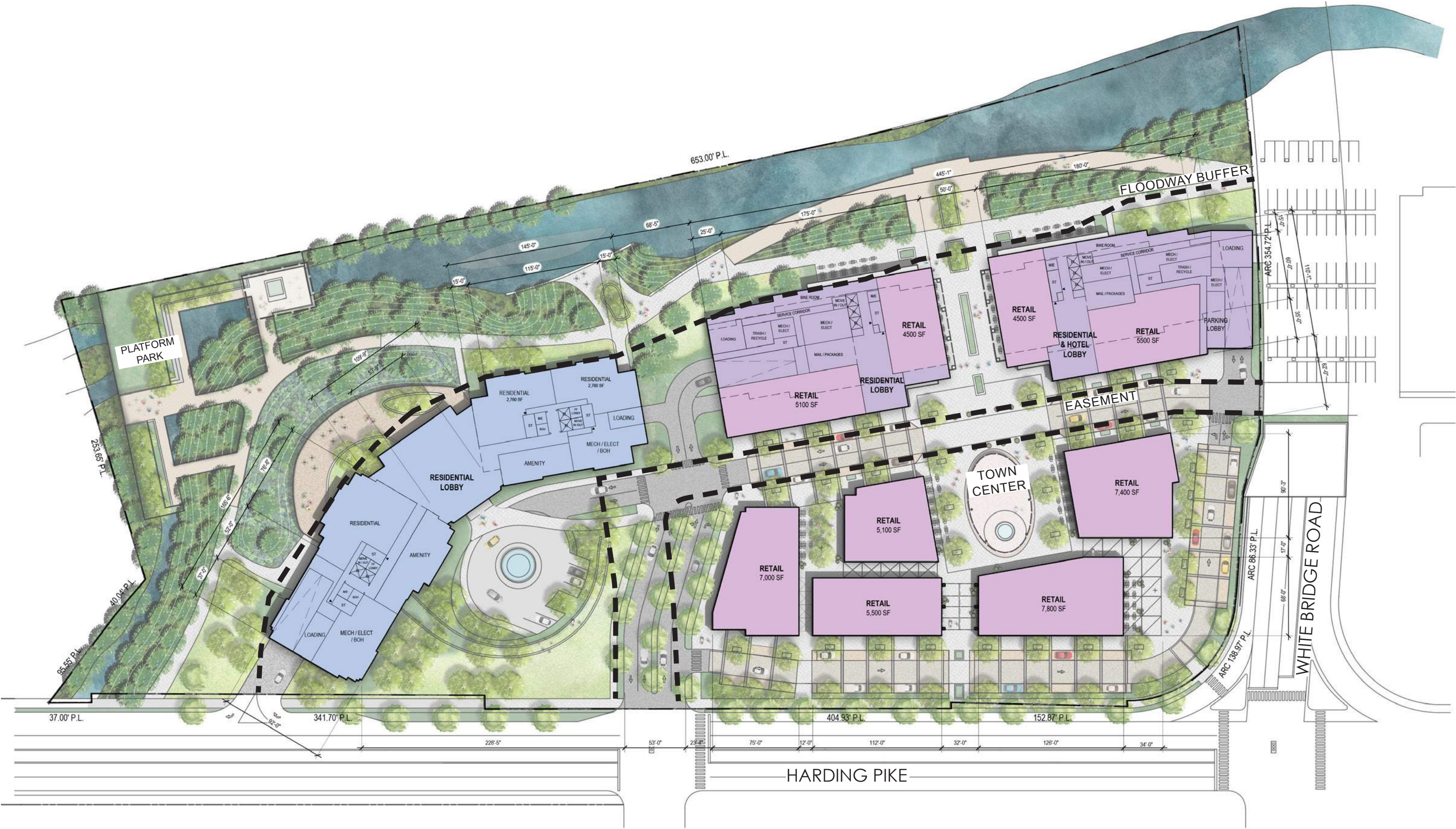
BMP, L.L.C.
ALTANSPS LAND TITLE SURVEY
4500 HARDING PIKE
URBAN SERVICES DISTRICT
2400 BELLE MEADE ROAD
BELLE MEADE, DAVIDSON COUNTY, TENNESSEE

BARGE WAGGONER SUMNER & CANNON, INC.
BWSC
DAVIDSON COUNTY, TENNESSEE 37203
PHONE: (615) 244-4300 FAX: (615) 244-4301



DATE	DATE	DATE	DATE	DATE	DATE
ONE	TWO	THREE	FOUR	FIVE	SIX
SEVEN	EIGHT	NINE	TEN	ELEVEN	TWELVE
THIRTEEN	FOURTEEN	FIFTEEN	SIXTEEN	SEVENTEEN	EIGHTEEN
NINETEEN	TWENTY	TWENTY-ONE	TWENTY-TWO	TWENTY-THREE	TWENTY-FOUR
TWENTY-FIVE	TWENTY-SIX	TWENTY-SEVEN	TWENTY-EIGHT	TWENTY-NINE	THIRTY

FILE NO. 3117402



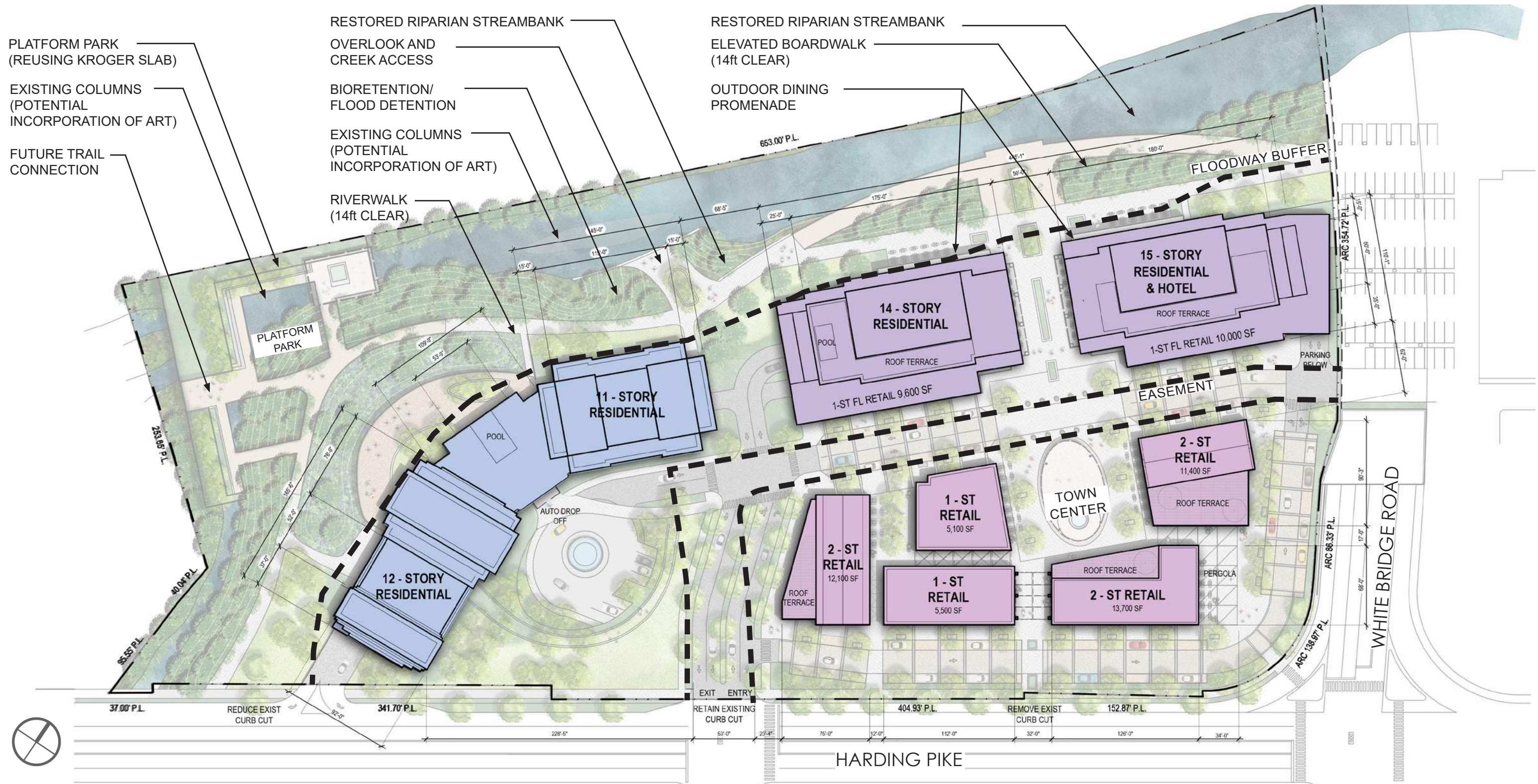
GROUND PLAN
BELLE MEADE PLAZA MIXED-USE DEVELOPMENT

SITE: 458,856 SF
FAR: 2.0 MAX

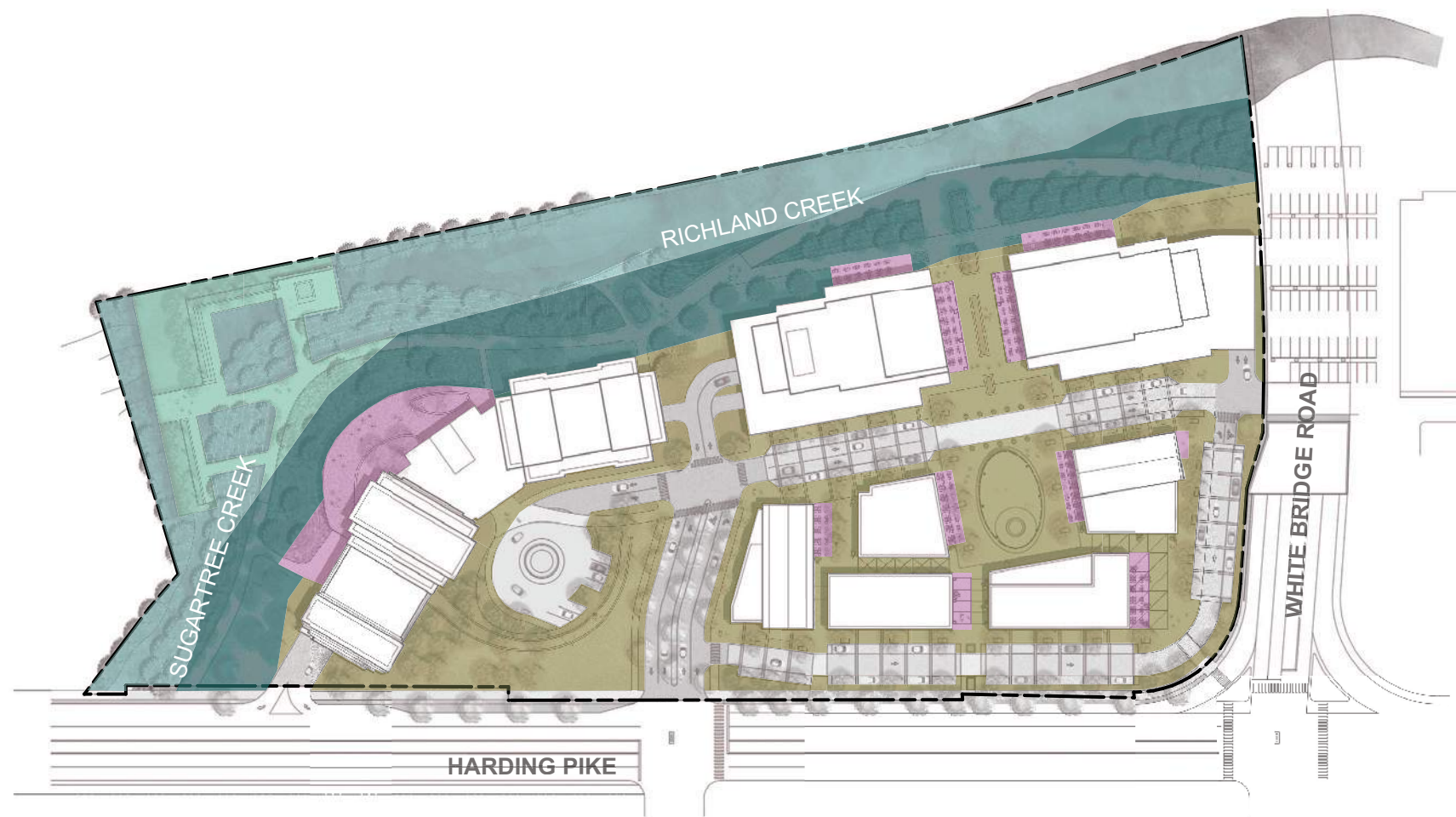
340,000 SF FAR (TOTAL)
277,500 SF SALEABLE (TOTAL)
+/- 90 UNITS (TOTAL) / +/- 3,000 SF PER DU
MAX: 120 DWELLING UNITS

60,000 SF FAR
50,000 SF FAR @ GRADE
10,000 SF FAR @ SECOND FLOOR
MAX: 75,000 SF FAR

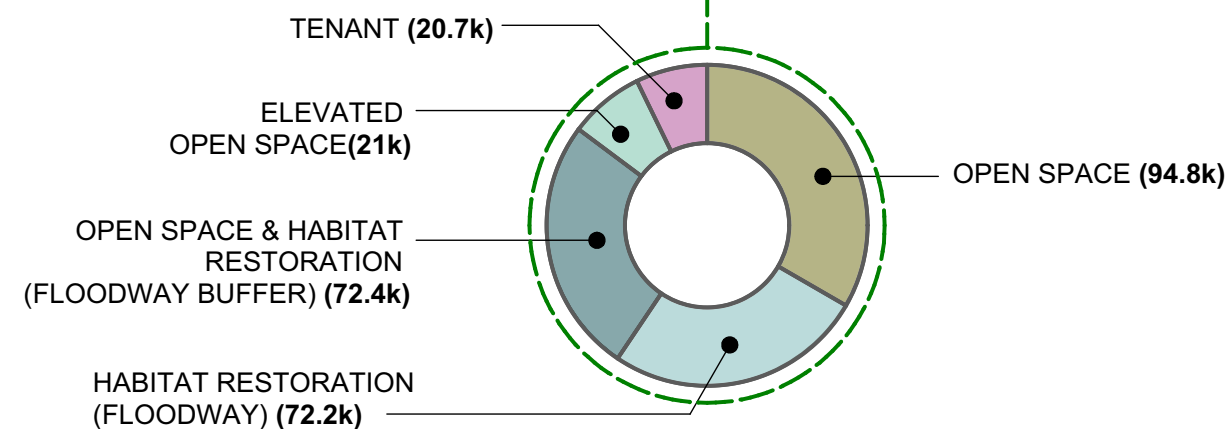
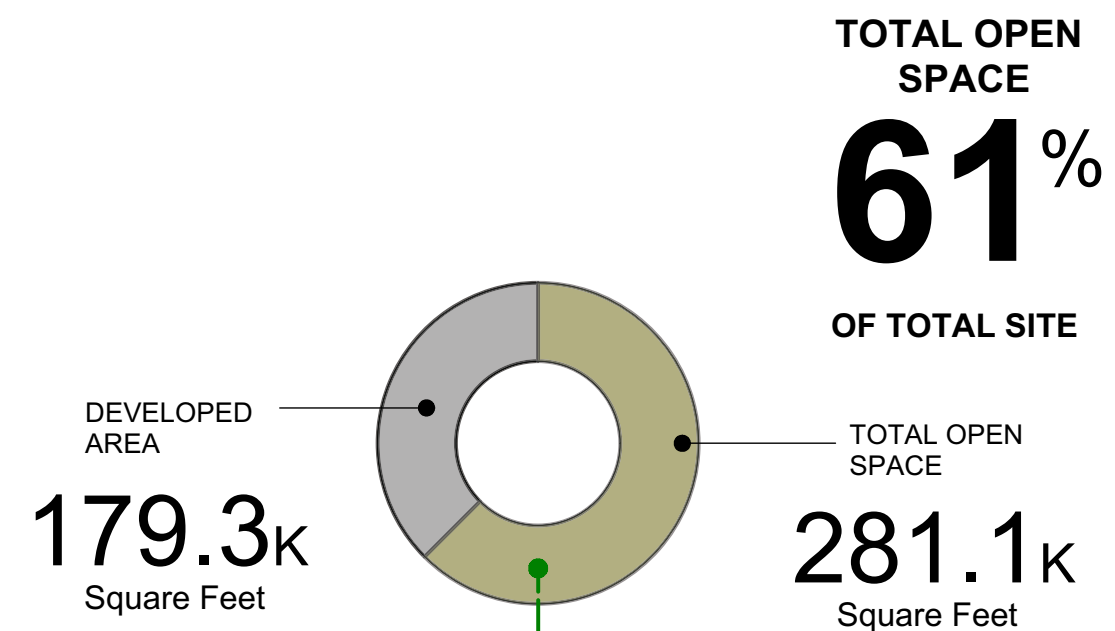
480,000 SF FAR
388,000 SF RENTABLE
+/- 350 UNITS (825 SF PER DU) & +/- 90 HOTEL KEYS
MAX: 380 DWELLING UNITS / 120 HOTEL KEYS



BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



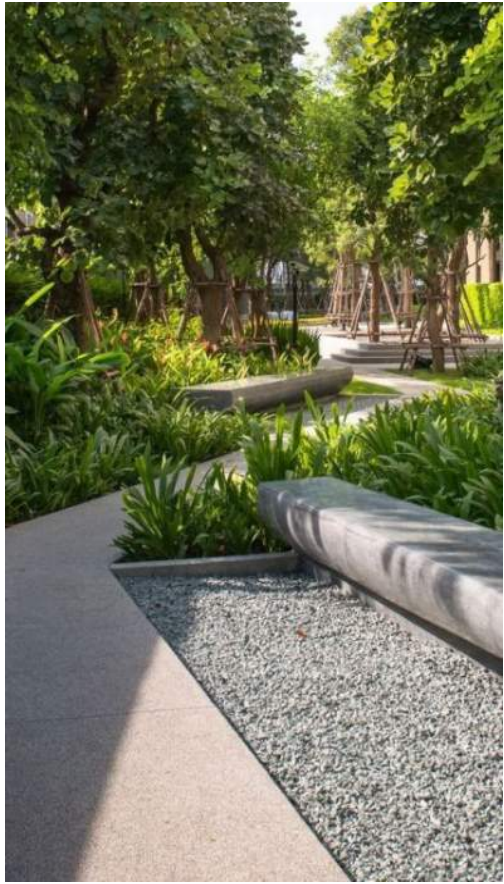
- PUBLICLY ACCESSIBLE OPEN SPACE (OUTSIDE OF FLOODWAY BUFFER)
- PUBLICLY ACCESSIBLE OPEN SPACE (WITHIN FLOODWAY BUFFER)
- RESTORED HABITAT WITHIN FLOODWAY
- ELEVATED PUBLICLY ACCESSIBLE OPEN SPACE ABOVE FLOODWAY (ADAPTIVE REUSE OF KROGER STRUCTURE)
- TENANT



OPEN SPACE TYPOLOGIES

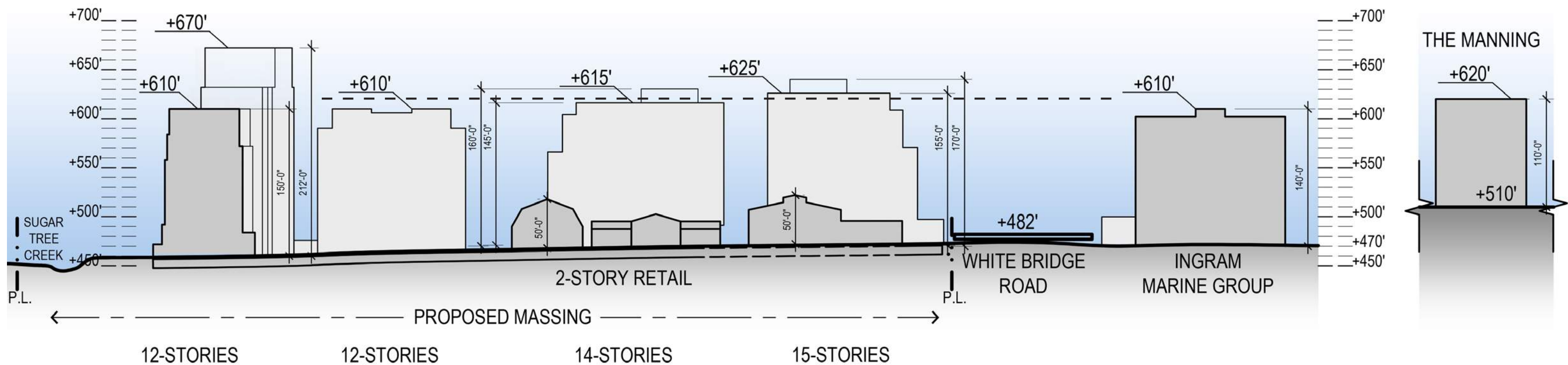


OPEN SPACE

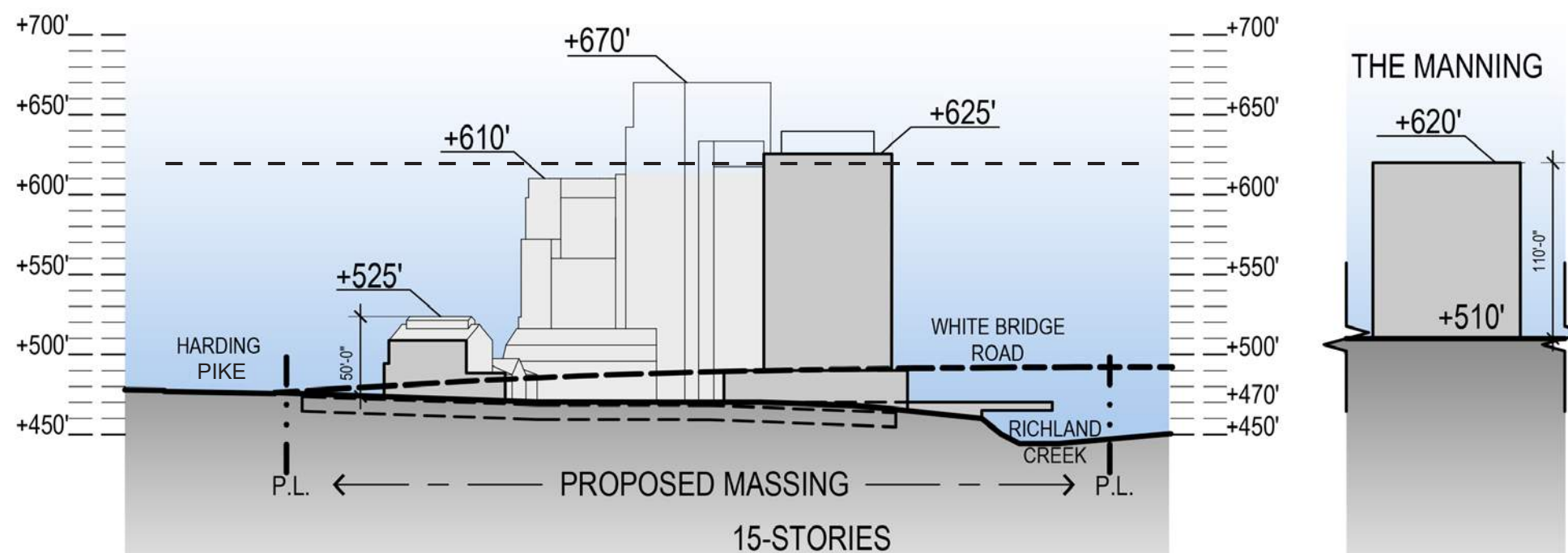


INSPIRATION IMAGES LANDSCAPE

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT



CONTEXTUAL HEIGHT DIAGRAM - WHITE BRIDGE ROAD TO SUGAR TREE CREEK



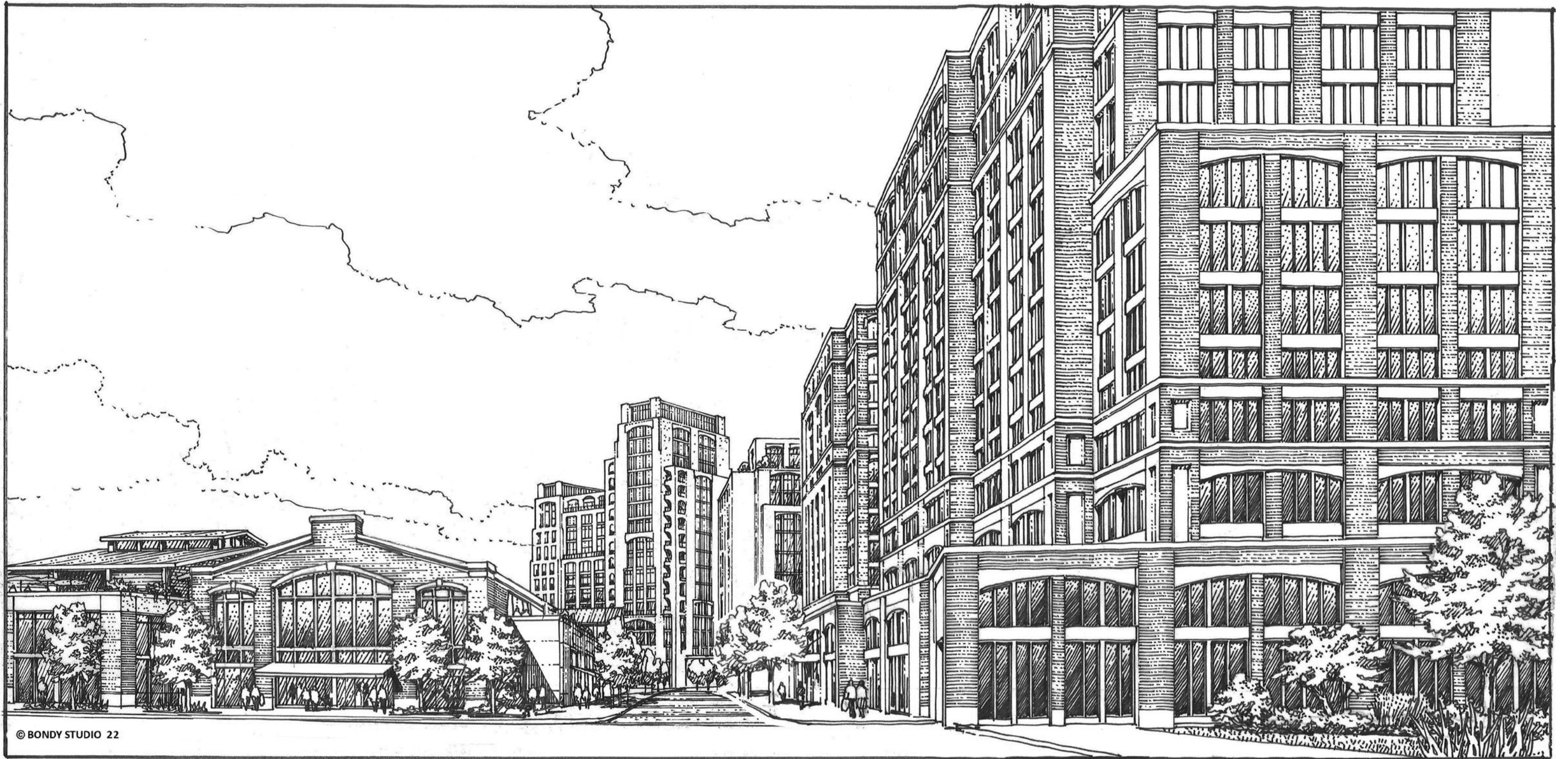
CONTEXTUAL HEIGHT DIAGRAM - HARDING ROAD TO RICHLAND CREEK



AERIAL VIEW LOOKING WEST
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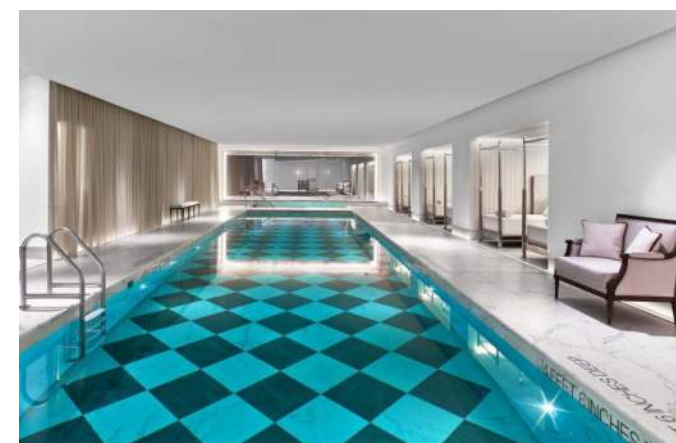
INSPIRATION IMAGES NEIGHBORHOOD RETAIL
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VIEW LOOKING ALONG RETAIL STREET

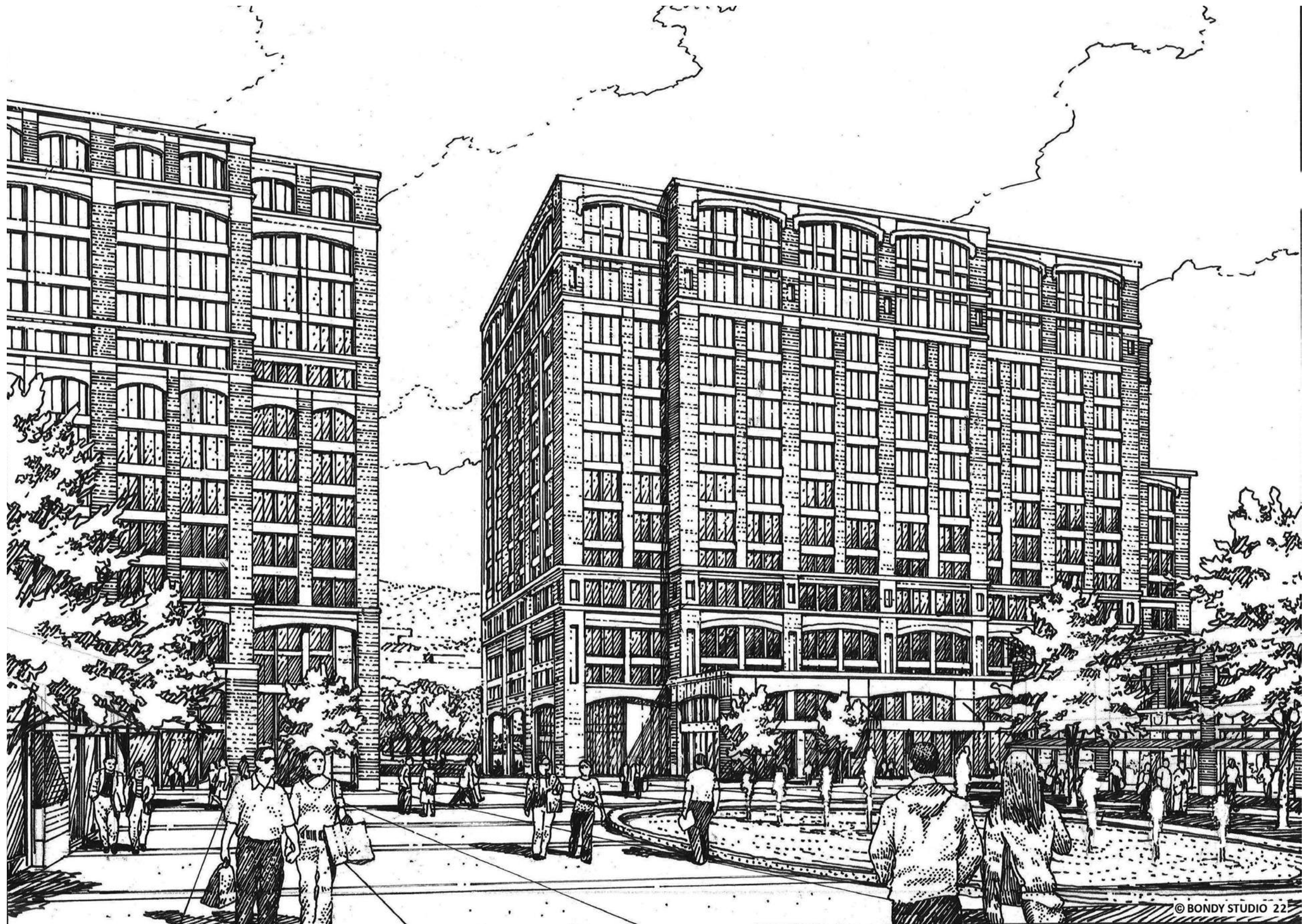
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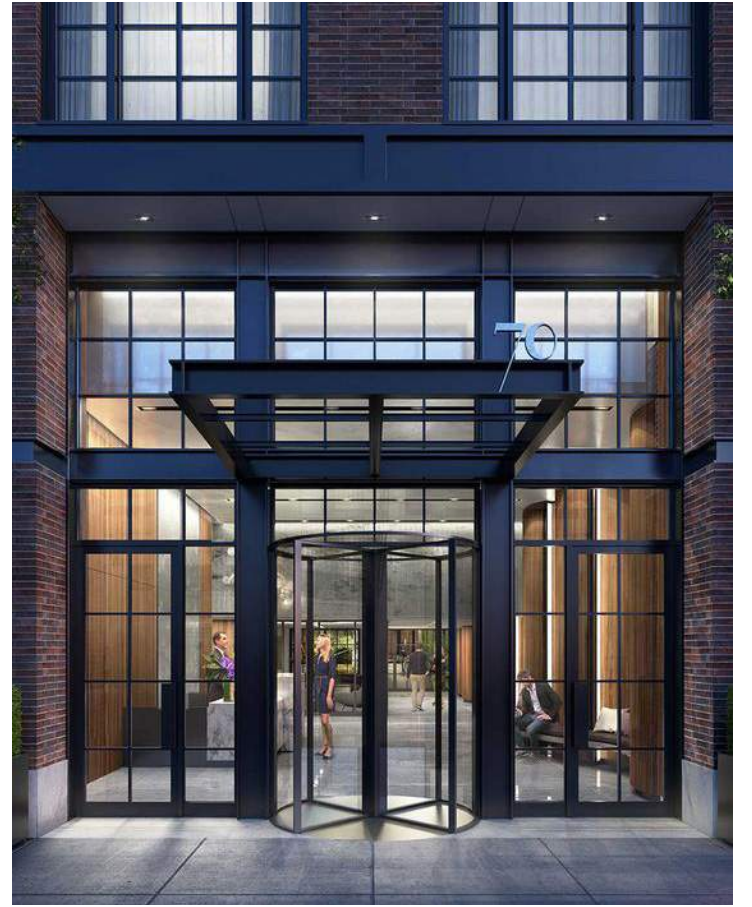
INSPIRATION IMAGES PRIVATE RESIDENCES

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VIEW LOOKING AT THE TOWN CENTER

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INSPIRATION IMAGES RESIDENTIAL APARTMENTS

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PUBLIC BENEFITS

INFRASTRUCTURE IMPROVEMENTS

- RICHLAND AND SUGAR TREE CREEK RESTORATION
- NEW SIDEWALK AND STREET TREES FRONTING HARDING PIKE
- EXISTING CURB CUT ELIMINATED ADJACENT TO INTERSECTION
- ON-SITE BIORETENTION
- ON-SITE TRAFFIC CALMING

OPEN SPACE IMPROVEMENTS

- **6.45** ACRES PUBLICLY ACCESSIBLE ON-SITE OPEN SPACE
- **3.80** ACRES GREEN SPACE INCLUDING:
 - NEW PUBLICLY ACCESSIBLE CREEK TRAIL AND BOARDWALK
 - HABITAT AND FLOODWAY RESTORATION
 - DAYLIGHTING RICHLAND AND SUGAR TREE CREEK
 - ELEVATED PLATFORM PARK
- **1.5** ACRES PATHS, YARDS AND GREENSPACE
- **0.60** ACRE TOWN CENTER & PASEO
- 0.47 ACRE TENANT OPEN SPACE

TOWN CENTER

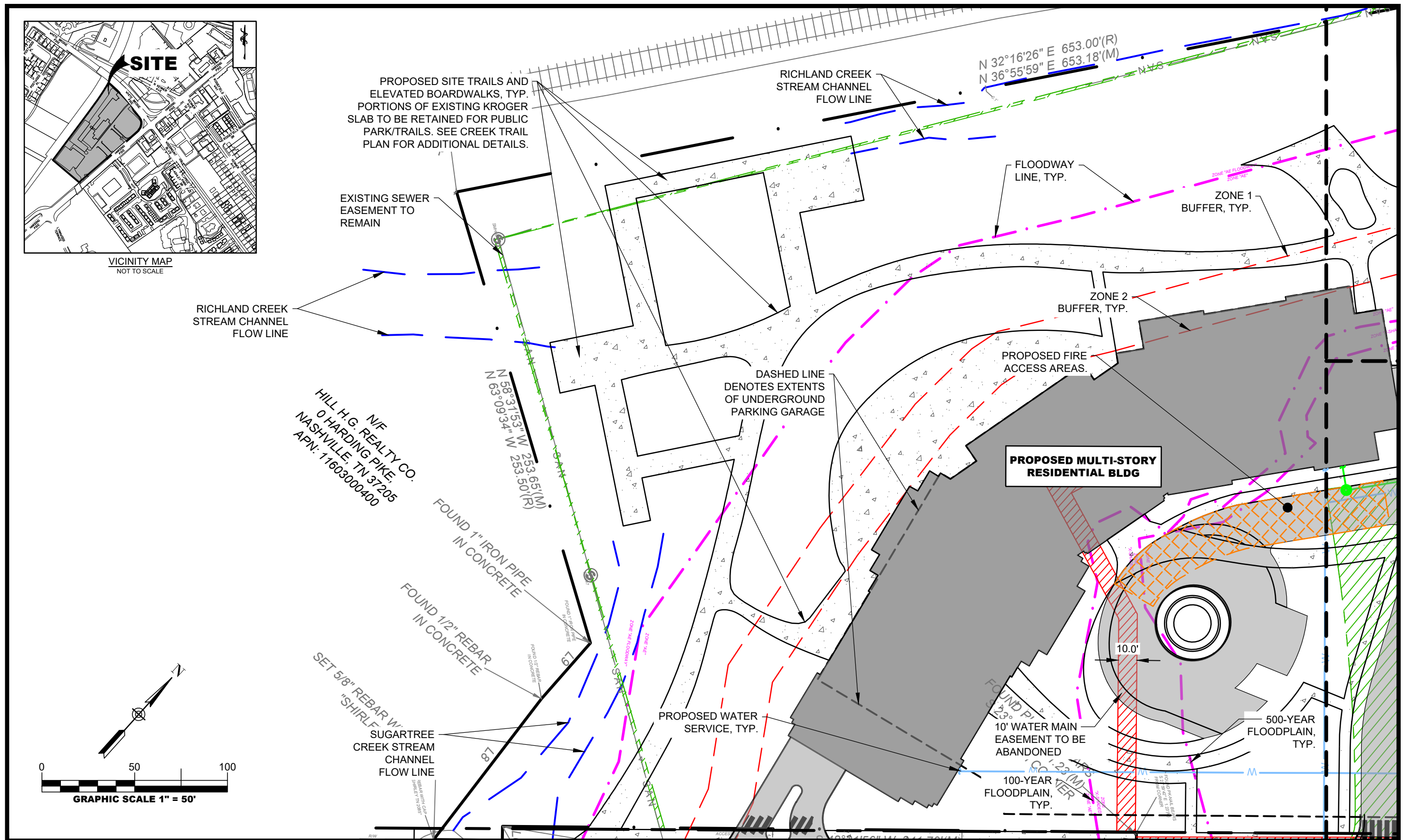
- INTERACTIVE WATER FEATURE
- SHADED SEATING AREAS
- PUBLIC BIKE RACKS
- PUBLIC BIKE REPAIR / AIR PUMP STATION
- PUBLIC HYDRATION STATIONS
- DEDICATED DOG PARK (OPEN TO THE PUBLIC)

SUSTAINABILITY

- SEEKING LEED NEIGHBORHOOD DEVELOPMENT AND WELL CERTIFICATION
- EXCEED ENERGY CODE BY A MINIMUM **10%**
- REDUCE INDOOR WATER USAGE BY MINIMUM **25%**
- DIVERT CONSTRUCTION WASTE FROM LANDFILL BY **80%**
- SIGNIFICANT BIKE PARKING
- ELECTRIC CAR CHARGING



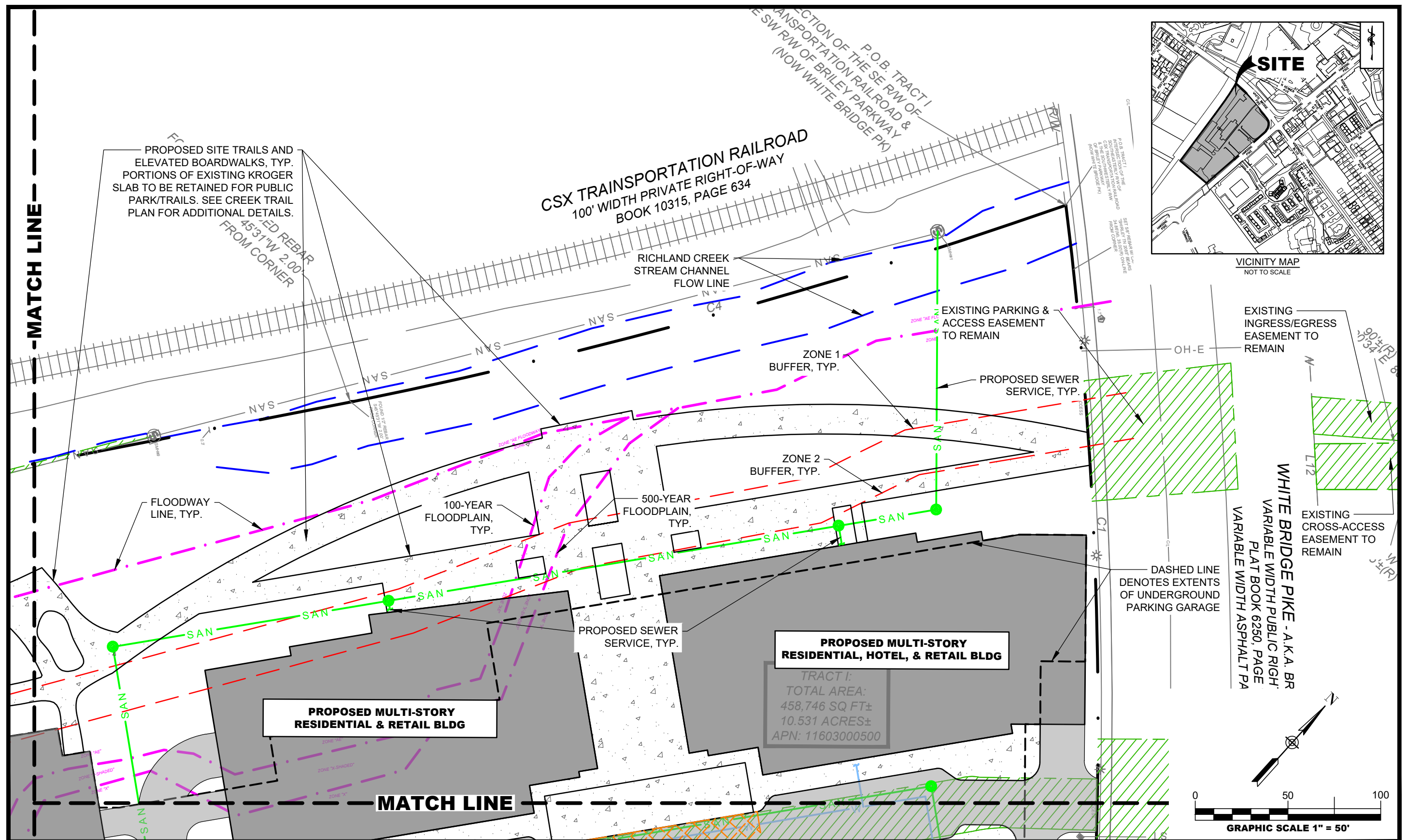
AERIAL VIEW LOOKING EAST



ENLARGED CIVIL PLAN & SITE UTILITIES

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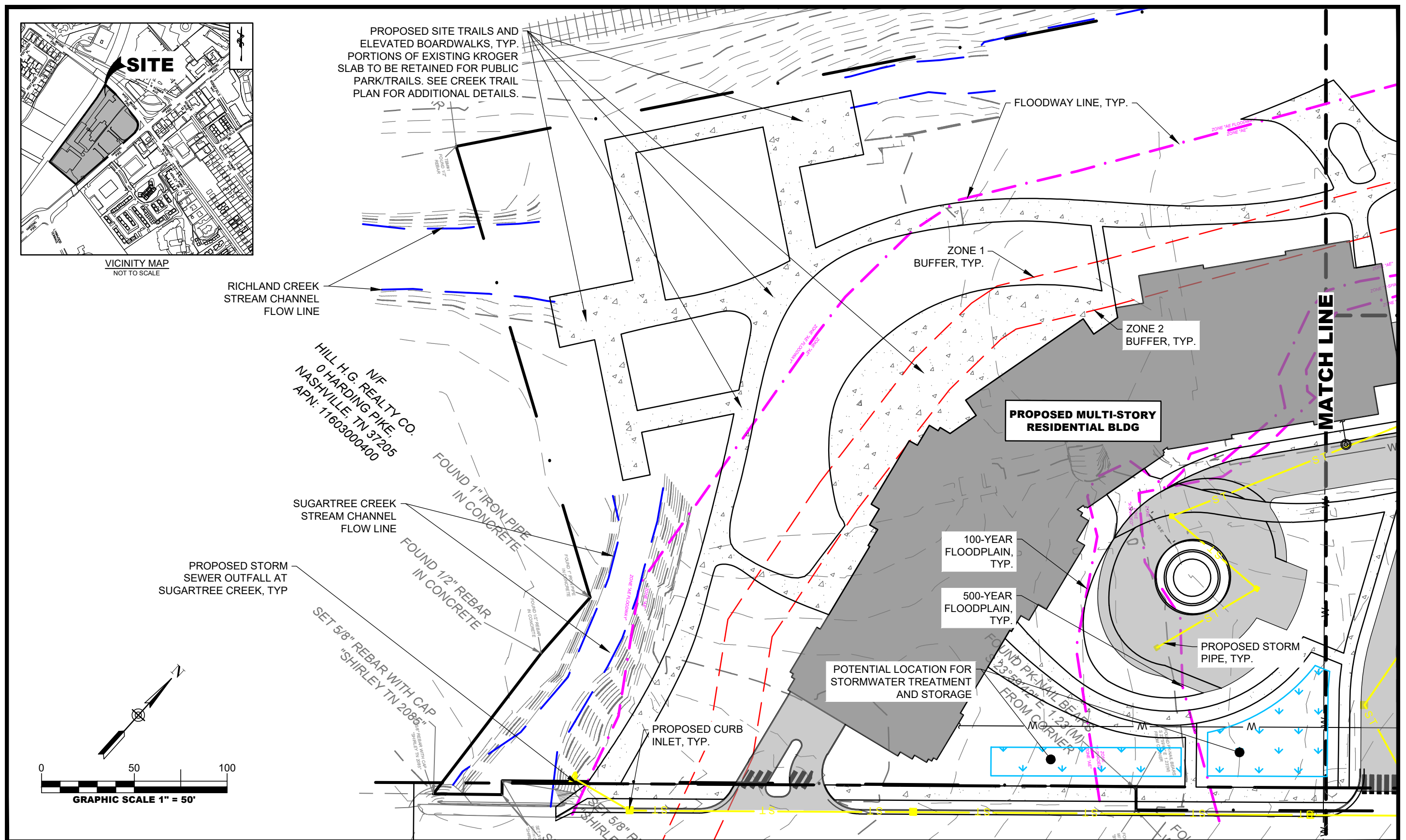
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ENLARGED CIVIL PLAN & SITE UTILITIES

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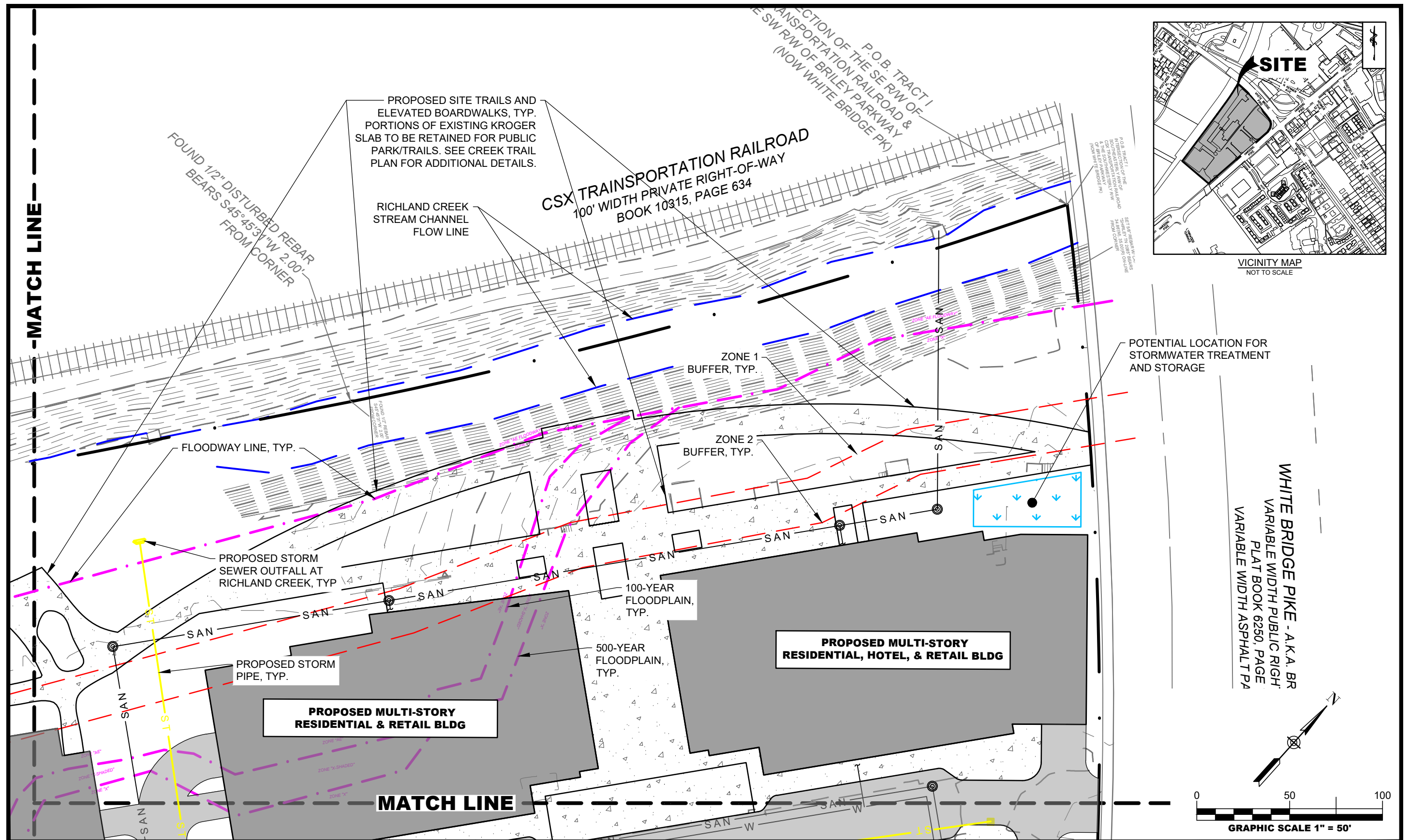
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ENLARGED CIVIL STORMWATER & GRADING

BELLE MEADE PLAZA MIXED-USE DEVELOPMENT

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ENLARGED CIVIL STORMWATER & GRADING

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